



**PUBLIC NOTICE
PLANNING & ZONING COMMISSION**

Meets

Wednesday, May 21, 2025

6:00 PM

ELOY CITY COUNCIL CHAMBERS

595 NORTH C STREET

ELOY, ARIZONA 85131

AGENDA

I. Call to Order

II. Roll Call

III. Invocation

IV. Public Appearances

Those wishing to **ADDRESS THE PLANNING & ZONING COMMISSION** may do so by signing in on a form provided by the Community Development Director, identifying the topic(s) or agenda item(s). **ACTION** taken as a result of public comment regarding non agenda items will be limited to directing staff to study the matter or rescheduling the matter for further consideration and decision at a later date. **SPEAKERS SHALL BE LIMITED TO THREE (3) MINUTES.**

V. Motion to approve the January 15, 2025, meeting minutes of the Planning and Zoning Commission

A. January 15, 2025, Regular Meeting Minutes of the Planning and Zoning Commission.

VI. New Business: Possible discussion and/or action on the following:

A. Request by staff to continue Case No. CUP2025-003: Arizona Trailers. This application is a request for a Conditional Use Permit to allow retail, as a general use on the property located at 1450 W Chambers Street, Eloy, Arizona, and zoned General Industrial (I-2).

B. Conduct a public hearing and make a recommendation to the Eloy City Council on Case No. CSP2024-001: Exceptional Healthcare. The proposal is for a Master Sign Program and Comprehensive Sign Package to allow modifications to Section 21-4-3: Signage of the Zoning Ordinance to allow a freeway pylon sign on a parcel that is less than 20 acres, and increase the size, height, allowable sign area and the number of signs. The property is at 340 E Milligan Road, Eloy, Arizona.

VII. Non-action: Presentation and Possible Discussion and Comments on the following:

A. Presentation, discussion, input, and comments for the General Plan update

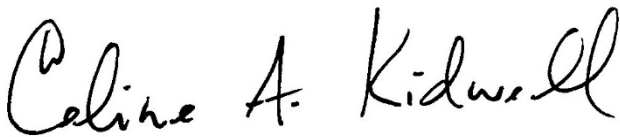
VIII. Informational Item:

- A. Planning and Zoning Commission members and staff will update the public on relevant events and activities they have attended since the last meeting and any future events, activities, and potential agenda items. These items are for information only—no action will be taken.

IX. Motion to Adjourn

POSTED BY MAY 15, 2025, AT ELOY CITY HALL, ELOY POST OFFICE, AND CITY WEBSITE:
www.loyaz.gov

THE FACILITY WILL BE OPEN TO THE PUBLIC 30 MINUTES PRIOR TO THE START OF THE MEETING AND SEATING WILL BE AVAILABLE FOR “REASONABLY ANTICIPATED ATTENDANCE.”



Celine A. Kidwell, CMC, FCRM
City Clerk

INDIVIDUALS WITH SPECIAL ACCESSIBILITY NEEDS MAY CONTACT MICHELLE HALL, ADA COORDINATOR FOR THE CITY OF ELOY AT 520-466-9201 OR 520-466-7455 (TDD). IF POSSIBLE, SUCH REQUESTS SHOULD BE MADE 72 HOURS IN ADVANCE. ONE OR MORE MEMBERS OF THE COMMISSION AND/OR STAFF MAY PARTICIPATE BY TELEPHONIC OR VIDEO MEANS.



**ELOY PLANNING AND ZONING COMMISSION
CITY HALL
595 NORTH C STREET
ELOY, AZ 85131
Regular Meeting
WEDNESDAY, JANUARY 15, 2025
SUMMARIZED MEETING MINUTES**

PRESENT:

Chairperson Steven Paulson
Vice-Chairperson Conrad Tolson
Commissioner Edward Saucedo
Commissioner Allen Crawford
Ex-Officio Andrew Sutton

STAFF:

Dan Symer, Community Development Director
Belinda Cota, Planner
David Malewitz, City Manager
Mackenzie Letcher, Assistant City Manager
Matt Rencher, Public Works Director/City Engineer
Stephen R. Cooper, City Attorney
Daniel Snyder, Council Member
Michael Vodrazka, Council Member

I. Call to Order

Chairperson Steven Paulson called the meeting to order at 6:01 p.m.

II. Roll Call

*One or more Planning and Zoning Commission members may attend by telephone.
As stated above, a formal roll call was conducted to confirm the members present.

III. Pledge of Allegiance

Chairperson Paulson led the recitation of the Pledge of Allegiance.

IV. Motion to approve the December 18, 2024, regular meeting minutes of the Planning and Zoning Commission

Chairperson Paulson asked for a motion to approve the Planning and Zoning Commission's December 18, 2024 meeting minutes. Commissioner Crawford moved to approve the December 18, 2024, Regular meeting minutes, seconded by Vice-chairperson Tolson with a clarification

Note: These are summary action minutes only. A complete copy of the meeting audio is available on the City of Eloy website, search agendas, minutes and public notices: [Agendas, Minutes & Public Notices | Eloy, AZ - Official Website \(loyaz.gov\)](https://www.loyaz.gov)

on the minutes for his nay vote for Case No. RZPAD2006-037.A1 Picacho View I – Poblano Solar, he voted no because it is right the street from residences in Arizona City and is on the boundary line from Eloy and Arizona City limits and his main objection is that is too close to residential; the motion was carried out by a vote of four (4) to zero (0). Yay: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Crawford, and Commissioner Saucedo. Nay: none.

V. New Business: Possible discussion and/or action on the following:

A. Case No. CSP2024-001: Exceptional Health Care Hospital-Comprehensive Sign Package and Master Sign Program. Conduct a public hearing and make recommendations to the Eloy City Council on the applicant's request for a Comprehensive Sign Package and Master Sign Program proposed to be used on an approximately 10-acre site zoned Light Industrial (I-1) Zoning District, located at 340 E. Milligan Road.

Chairperson Paulson read the applicant's email request, dated January 14, 2024, to continue the hearing for the Comprehensive Sign Package, Case No. CSP2024-001 until a later date to be determined.

Commissioner Crawford moved to continue **Case No. CSP2024-001**. Second, by Vice-Chairperson Tolson, the motion was carried out by a vote of four (4) to zero (0) by Yay: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Crawford, and Commissioner Saucedo. Nay: none.

B. Case No. RZPAD2024-006: Southwest Crossing Data Center: conduct a public hearing and make a recommendation to the Eloy City Council on an application request to rezone approximately 122 acres located at the southwest corner of W. Houser Road and N. Estrella Road from General Industrial (I-2) to General Industrial (I-2) with the Planned Area Development (PAD) Overlay

Chairperson Paulson opened the public hearing. Mr. Symer introduced the case and stated that the staff recommends approving Case No. RZPAD2024-006 and introduced the applicant for the case. Ms. Carolyn Oberholtzer with Bergin, Frakes, Smalley & Oberholtzer introduced herself on behalf of the property owner and gave a brief presentation. The PAD request is to add Data Processing and Hosting Services as an additional permitted use on the property and to increase the allowable building height.

Chairperson Paulson asked for a motion. Commissioner Crawford moved to continue **Case No. RZPAD2024-006**. Second, by Chairperson Paulson, the motion was carried out by a vote of three (3) to one (1) by Yay: Chairperson Paulson, Commissioner Crawford, and Commissioner Saucedo. Nay: Vice-chairperson Tolson (

VI. Non-action: Presentation and possible discussion and public comments on the following:

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A. Update to the Airport Master Plan.

Coffman Associates Airport Consultants gave a PowerPoint presentation of the Airport Master Plan.

The next steps:

- Adoption of the Master Plan by City Council via Resolution
- Submit the Airport Layout Plan to the FAA for review and approval (estimated approval date: Spring 2025)
- Deliver Final Master Plan and Executive Summary Brochure
- Execute Master Plan through the City's annual budget and grant funding opportunities.

VII. INFORMATIONAL ITEM:

A. Planning and Zoning Commission members and staff will give updates on relevant events and activities they have attended since the last meeting and any future events, activities, and potential agenda items. These items are for information only – no action will be taken.

- Mayor Sutton communicated that the Poblano Solar cases were tabled at the January 13, 2025, City Council meeting.
- Mr. Symer communicated that on Monday, January 13, 2025, the City Council approved a professional services contract with Logan Simpson to provide services for a comprehensive update to the General Plan. Staff and the consultant anticipate beginning the project before the end of January 2025, with an estimated completion in June 2026. Staff anticipates that the schedule will allow adequate coordination with Pinal County to have the voter ratification placed on the November 2026 ballot.
- Mr. Symer communicated that the City opened a Request For Qualifications (RFQ) for the Airpark Master Plan building at the Airport. It will be a master plan for all the development around the Airport. That will go simultaneously with the General Plan update, and it is offset for approximately five months and
- He thanked the Planning and Zoning Commission members for his time here; everyone has been wonderful. He commented he was not anticipating having a February meeting and that the new Planning Commission would be coming in March of 2025.

VIII. MOTION TO ADJOURN

With no further business to discuss, the Planning and Zoning Commission meeting adjourned at 6:54 p.m.

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CITY OF ELOY
REQUEST FOR COMMISSION ACTION

Agenda Item: VI.A.

Date: 5/21/2025

Date submitted:
05/01/2025

Action: Other

Subject: Request by staff to continue Case No. CUP2025-003: Arizona Trailers. This application is a request for a Conditional Use Permit to allow retail, as a general use on the property located at 1450 W Chambers Street, Eloy, Arizona, and zoned General Industrial (I-2).

Date requested:
5/21/2025

TO: Planning and Zoning Commission

FROM: Dan Symer, Belinda Cota

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve the request to continue Case No. CUP2025-003: Arizona Trailers to the June 18, 2025, Planning and Zoning Commission hearing.

DISCUSSION:

The purpose of the request to continue the application is to allow the applicant to conduct additional public outreach and hold a Neighborhood Open House Meeting, scheduled for Wednesday, May 28, 2025, at City Hall in the Community Room.

FISCAL IMPACT:

There is no anticipated fiscal impact from the proposed request.

CITY OF ELOY
REQUEST FOR COMMISSION ACTION

Agenda Item: **VI.B.**

Date: **5/21/2025**

Date submitted:
05/01/2025

Action: Other

Subject: Conduct a public hearing and make a recommendation to the Eloy City Council on Case No. CSP2024-001: Exceptional Healthcare. The proposal is for a Master Sign Program and Comprehensive Sign Package to allow modifications to Section 21-4-3: Signage of the Zoning Ordinance to allow a freeway pylon sign on a parcel that is less than 20 acres, and increase the size, height, allowable sign area and the number of signs. The property is at 340 E Milligan Road, Eloy, Arizona.

Date requested:
5/21/2025

TO: Planning and Zoning Commission

FROM: Dan Symer

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission recommend to the City Council the approval of Case No. CSP2024-001: Exceptional Healthcare Master Sign Program and Comprehensive Sign Package, in accordance with the adopted general sign provisions in Section 21-4-3: Signage of the Zoning Ordinance on Chapter 21 of the Eloy City Code.

DISCUSSION:

Request:

The applicant, Associated Sign Company, on behalf of S9942 LLC, has applied for a Master Sign Program and Comprehensive Sign Package to allow modifications to Section 21-4-3: Signage of the Zoning Ordinance (Chapter 21), which includes: a 50-foot-tall Freeway Pylon sign on a parcel less than 20 acres, containing multiple illuminated signs with the largest being 9 feet tall by 42.5 feet wide, and increase in the allowable sign area. Also, the amendment includes an increase in the height allowed for building-mounted signs to accommodate multiple building signs, and an increase in the total aggregate sign area allowed on the property for all signs. The property is located at

340 E Milligan Road in the City of Eloy, Pinal County, Arizona.

Standard	Sign Ordinance Allowance	Proposed Allowance	Difference
Wall-mounted sign height	25 feet in height	33.5 feet in height	8.5 feet
Site Area for a Pylon sign	20 acres	4.43 acres	15.67 acres
Total Sign Area for area	A Pylon sign total maximum sign area of 600 square feet; with any one panel not exceeding 150 square feet in area, plus the center identification.	A pylon sign with any one panel not exceeding 385 square feet in area, plus the center identification.	135 square feet
Pylon sign support	Sign supports shall consist of at least 30% of the total sign width; each single support shall consist of at least 15% of the total sign width.	Sign supports shall consist of at least 9% of the total sign width; each single support shall consist of at least 4.5% of the total sign width	21% total support width and 11.5% single width

Context:

The site is primarily surrounded by commercial and industrial uses and fronts Interstate 10. The General Plan land use map designation for the site is General Industrial, and the site is zoned Light Industrial (I1). Pilot Travel Center is to the north, the Interstate 10 off ramp (Exit 208) surrounds the west and south sides of the property, which is the exit to Sunshine Boulevard, and vacant industrial land to the south The subject property is the site of a new hospital and surgical suite.

FISCAL IMPACT:

There are no anticipated fiscal impacts associated with this discussion.

SIGN PERMIT APPLICATION

GENERAL DATA REQUIRED

Development/Project Name: EXCEPTIONAL HEALTH	
Assessor's Parcel Number(s): 41110021D,41110020D,41110017K	Current General Plan Land Use Designation:
Gross Area (Acre/Sq. Ft.): 110.88 ACRES	Current Property Zoning: COMMERCIAL
Project Location 340 E MILLIGAN ROAD ELOY, AZ 85131	Current Land Use: VACANT
Description of Project EMERGENCY ROOM	Proposed Land Use: COMMERCIAL

PROPERTY OWNER INFORMATION

Owner Name:	Company:		
Street Address:			Phone:
City:	State:	Zip Code:	E-Mail:

APPLICANT / AGENT REPRESENTATIVE INFORMATION

Name: JASON SHANO	Company: ASSOCIATED SIGN COMPANY		
Street Address: 3335 W. VERNON AVE			Phone:
City: PHOENIX	State: AZ	Zip Code: 85009	E-Mail: JMS@ASCOSIGNS.COM
Applicant Signature:			Date: 11/19/2024

A pre-application request must be submitted, and a pre-application meeting must be held before the submission of this application (Section 21-6-2.1.A. of the Eloy Code) — unless the Zoning Administrator waives a pre-application in writing per section 21-6-2.1.D. of the Eloy Code. Before submitting an application, the applicant must receive a submittal checklist signed and dated by the Community Development Director or the City Planner. Applications submitted without the aforementioned will be deemed incomplete, and not accepted for review.

FOR OFFICE USE ONLY

Accepted By:	Submittal Date:	Fees:	CASE NO:
Receipt Confirmation No.		Fees Paid:	GL# 10-319-0120

Property Owner's Permission Form

**If multiple property owners exist, each owner shall complete an Owner's Permission Form.*

Property address: 340 E MILLIGAN ROAD ELOY, AZ 85131

A.P.N.(s): 41110021D,41110020D,41110017K

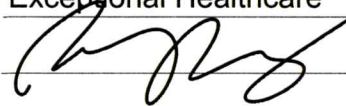
I, the undersigned, I am the owner of the land specified above, or I am the duly and lawfully appointed agent of the owner of the land and have authority from the owner to sign this affidavit on the owner's behalf. I do hereby grant permission act on my behalf for the planning and zoning/permit application to the following Applicant / Agent Representative(s):

Authorized Owner(s)/Representative Name (Print or Type): Robert Kunkel

Authorized Owner/Representative's (Print or Type): _____

Company, Corporation, Trust, etc. Name (Print or Type): Exceptional Healthcare

Signature: _____



STATE OF TEXAS)

) ss

County of DALLAS)

On this 22nd day of November 2024, before me, the undersigned Notary Public, personally appeared Robert Kunkel, known to me to be the person(s) whose name is subscribed to the within this instrument and acknowledged that _____

executed the same.

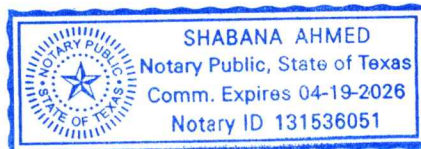
IN WITNESS WHEREOF, I hereto set my hand and official seal.

My commission expires:

04/19/2026

Shabana

Notary Public





Exceptional Community Hospital - Eloy, AZ
MSP Narrative

We are requesting approval of a master sign plan for the Exceptional Community Hospital development located at 340 E Milligan Rd. This is a new development of a community hospital and emergency room. Given the nature of a hospital and emergency room signage is extremely important in guiding people in the right direction as time is a factor. We are requesting approval of a MSP to include a freeway pylon sign that is 50 feet tall to help guide traffic coming in from the I-10 freeway. The sign face will have multiple illuminated sections, the largest being 9' tall x 42.5' wide. The sign copy will include hospital name and "EMERGENCY " at 36" tall. This size is integral for the location to be easily identified. In addition to the pylon sign there will be (2) small directional signs located at each entry drive into the Hospital to guide traffic as you near the entry points. The sign package will also include (4) building mounted wall signs. One of those signs will brand the hospital by name over the main entrance. There will be (2) ER signs located on the building fin element to let people know it is an emergency facility. Lastly, there will be an ambulance sign over the ambulance entry point to help guide emergency vehicles to the correct location to get emergency care.

Modified Sign Development Standards Chart:

Standard	Sign Ordinance Allowance	Proposed Allowance	Difference
Wall-mounted sign height	Twenty-five feet (25') in height	Thirty-three feet 33'-6" in height	Eight feet six inches (8'-6")
Site Area for a Pylon sign	20 acres	4.43 acres	15.67 acres
Total Sign Area for a Pylon sign	A Pylon sign total maximum sign area of six hundred (600) square feet; with any one panel not exceeding one hundred fifty (150) square feet in area, plus the center identification.	A pylon sign with any one panel not exceeding one hundred fifty (385) square feet in area, plus the center identification.	135 square feet
Pylon sign support	Sign supports shall consist of at least thirty percent (30%) of the total sign width; each single support shall consist of at least fifteen percent (15%) of the total sign width.	Sign supports shall consist of at 9% of the total sign width; each single support shall consist of at least (4.5%) of the total sign width	21% total & 11.5% single
Etc (please other modified standards.)			



This MSP would only amend the provisions in section 21-4-3 and does not violate any other provisions of this chapter. The appearance of the signs is keeping with the character of the hospital development, the sizing of the signs are appropriate for the areas of the building they occupy and colors are complimentary to the building. Approval of the MSP will in no way be detrimental to the public interest, health, safety, convenience, or welfare or materially injurious to people, property, or improvements within the vicinity in which the project is located. In fact, the approval of the MSP will be a direct benefit to the public health and safety interests as it will provide the necessary identification and wayfinding for a hospital emergency room.

We formally request approval of the MSP as submitted. Please feel free to contact me with any questions.

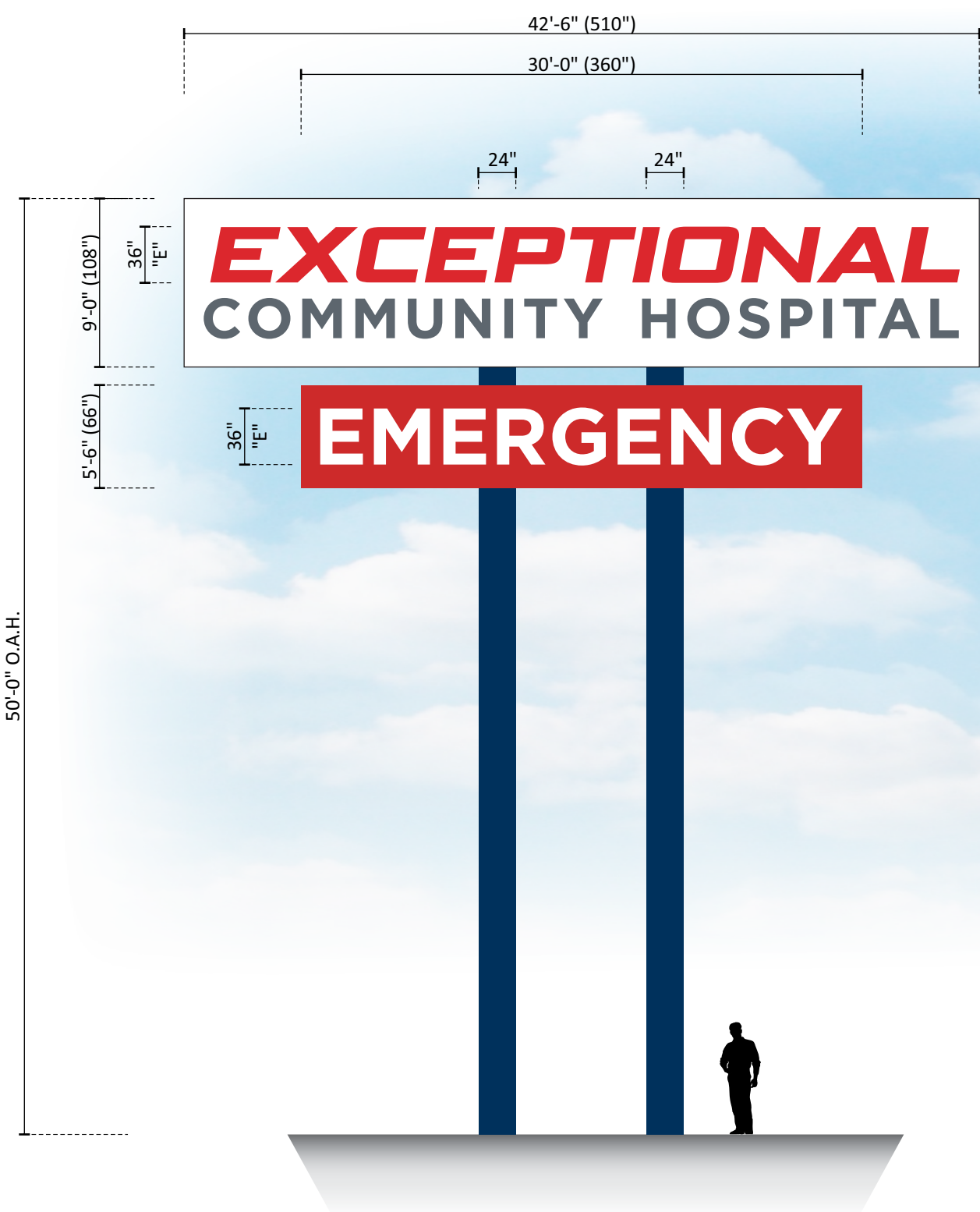
Respectfully,

Jared Segel

P: 602-278-8464

E: jsegel@ascosigns.com

SIGN TYPE	SIGN DESIGNATION	SIGN HEIGHT	SIGN DIMENSIONS	ILLUMINATED	SIGN COPY
PYLON	A	50'	9' x 42.5'	Y	EXCEPTIONAL HEALTH COMMUNITY HOSPITAL EMERGENCY
GROUND DIRECTIONAL	G	3.25'	3' X 5'	Y	HOSPITAL / AMBULANCE
GROUND DIRECTIONAL	H	3.25'	3' X 5'	Y	HOSPITAL / AMBULANCE
BUILDING WALL SIGN	B		4.75' X 25.66'	Y	EXCEPTIONAL HEALTH COMMUNITY HOSPITAL
BUILDING WALL SIGN	C		7.5' X 4'	Y	ER
BUILDING WALL SIGN	D		7.5' X 4'	Y	ER
BUILDING WALL SIGN	F		1.15' X 10'	Y	AMBULANCE



50'-0" O.A.H.

A D/F ILLUMINATED PYLON SIGN SCALE: 1/8" = 1'-0"
 ONE [1] REQUIRED - MANUFACTURE & INSTALL

D/F ALUMINUM FLEX FACE CABINET PTM PMS 431 C GRAY
 W/ 3M PANAFLEX FACES W/ DIGITALLY PRINTED COPY (SEE COLOR KEY) -
 INTERNALLY ILLUMINATED W/ WHITE LEDS

D/F ALUMINUM FLEX FACE "EMERGENCY" CABINET PTM PMS 431 C GRAY
 W/ 3M PANAFLEX FACES W/ DIGITALLY PRINTED FACES & SHOW THRU COPY (SEE COLOR KEY) -
 INTERNALLY ILLUMINATED W/ WHITE LEDS

SUPPORT COVER PAINTED TO MATCH PMS 540 C DARK BLUE -
 DECORATIVE REVEALS PTM SW 6959 BLUE CHIP

STEEL SUPPORT & PIER FOUNDATION TO BE BASED ON LOCAL CODE &
 ENGINEERING REQUIREMENTS

COLOR KEY

- PMS 431 C GREY
- PMS 540 C DARK BLUE
- SW 6959 BLUE CHIP (SIGNSW6959)
- PMS 1795 EMERGENCY RED
- PMS 1805 RED
- WHITE



Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
 340 E. MILLIGAN RD
 ELOY, AZ

Date: 09-26-2024
 Contact: WF / JR
 Designer: SDM

Sign Item

Scale:

Revision Note

R1 TS-10/7/24: A - New Pylon
 B - H Adj. notes and updt. site
 plan
 R2-AC-1/21/25: rev A opts
 R3-BV:03/18/25: (A) DELETE
 OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
 A
 R5-BV:04/24/25: (A,G)
 RELOCATE

**Information Required
for Production**

Customer Approval

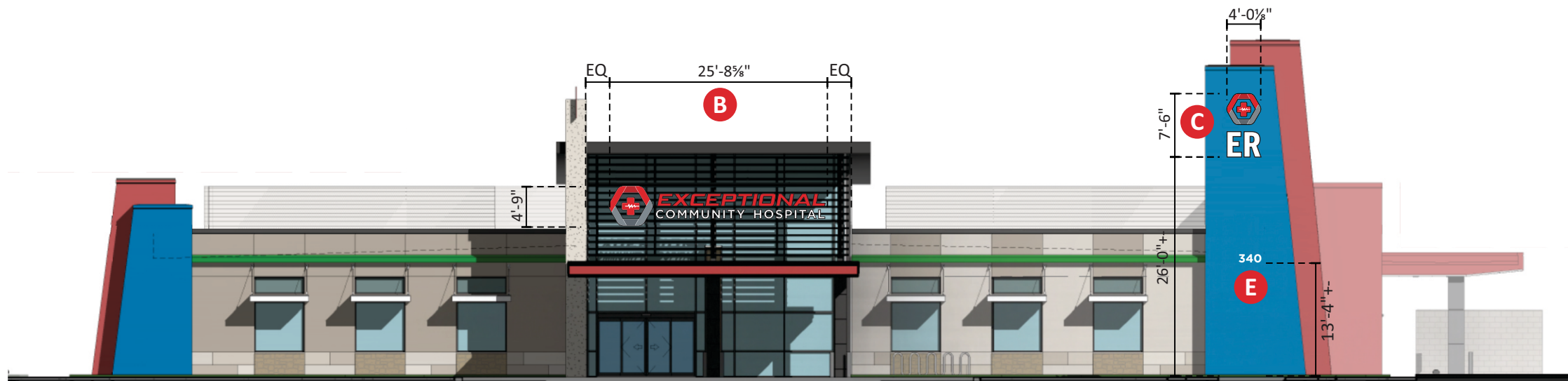
Signature _____
 MM/DD/YYYY _____

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A division of Pattison ID
 214.902.2000 chandler signs.com



SOUTH ELEVATION

SCALE: 1/16"=1'-0"



EAST ELEVATION

SCALE: 1/16"=1'-0"



NORTH ELEVATION

SCALE: 1/16"=1'-0"

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024

Contact: WF / JR

Designer: SDM

Sign Item

ELEVATIONS

Scale: 1/16" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
B - H Adj. notes and updt. site
plan

R2-AC-1/21/25: rev A opts

R3:BV:03/18/25: (A) DELETE
OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
A

R5:BV:04/24/25: (A,G)
RELOCATE

**Information Required
for Production**

Customer Approval

Signature

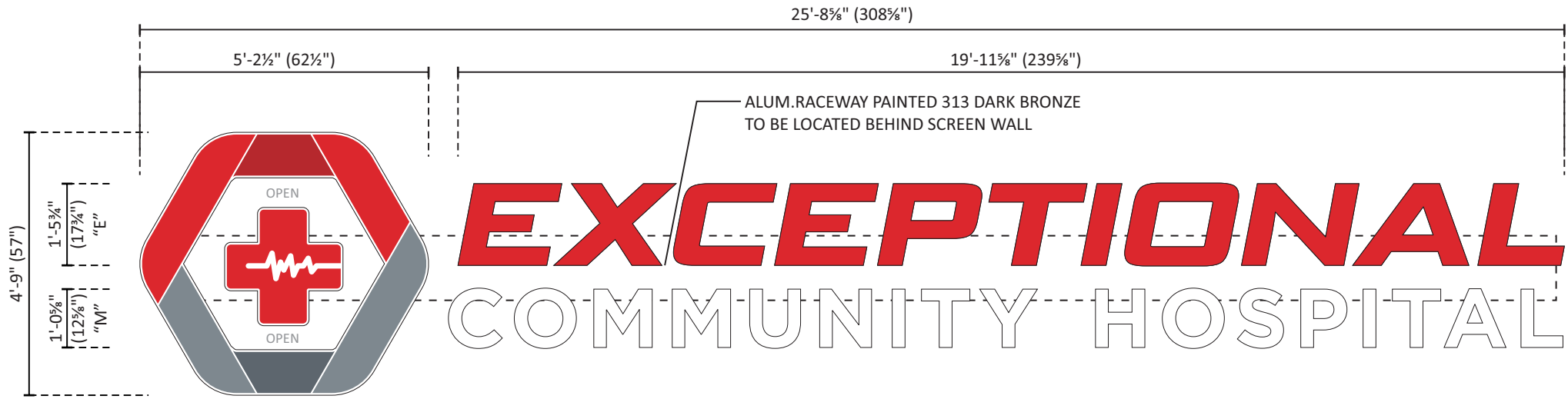
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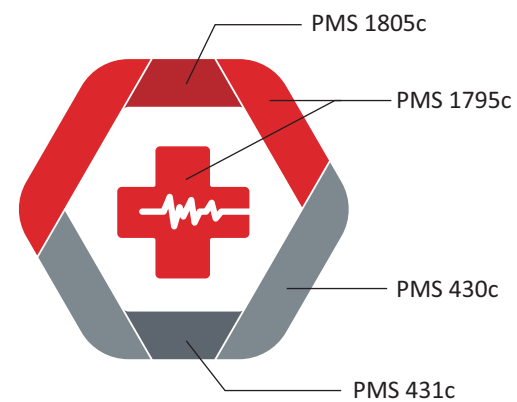
B FACE-LIT CHANNEL LOGO/LETTERS

ONE [1] SET REQUIRED - MANUFACTURE & INSTALL

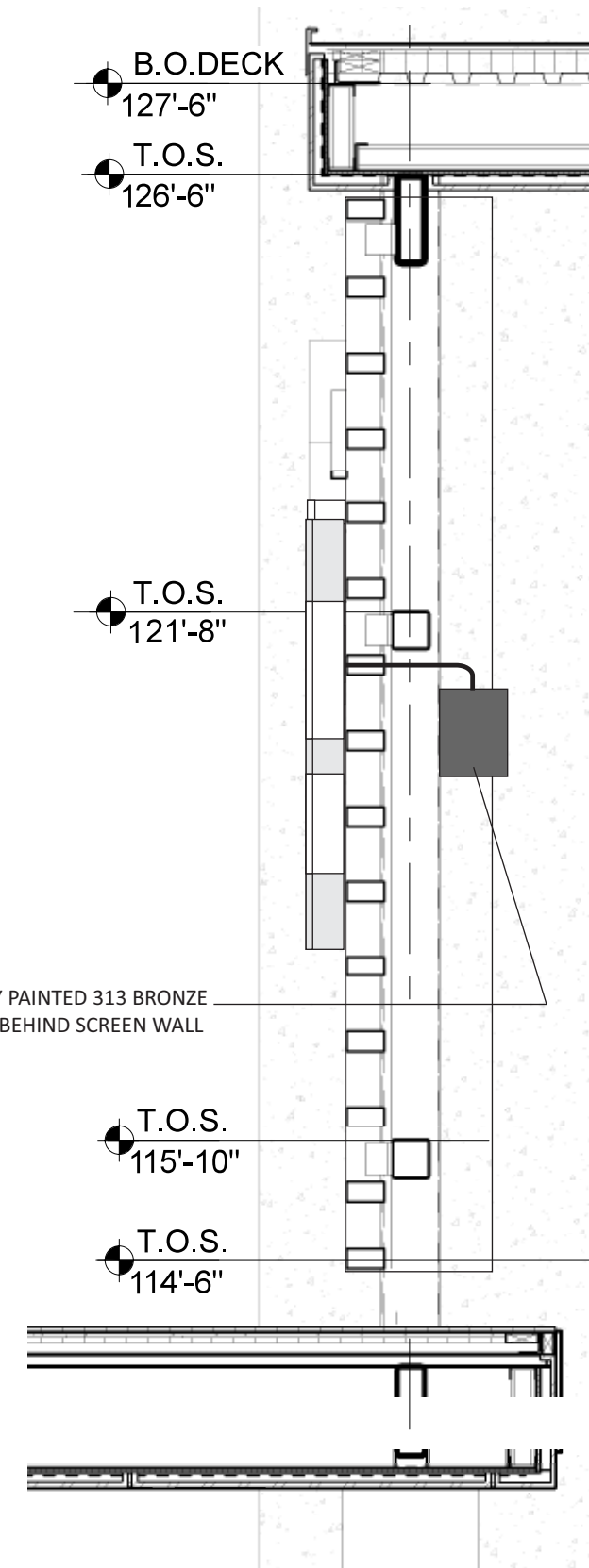
SCALE: 3/8" = 1'-0"

70.95 Sq.Ft.

ENGINEERING NOTE: REFERENCE WO# 0420100 FOR SAME SIGN @ PRESCOTT, AZ LOCATION



LOGO COLOR DETAIL



END VIEW

SCALE: 1/2" = 1'-0"

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024
Contact: WF / JR
Designer: SDM

Sign Item

BUILDING LTRS

Scale: 3/8" = 1'-0"

Revision Note

- R1 TS-10/7/24: A - New Pylon B - H Adj. notes and updt. site plan
- R2-AC-1/21/25: rev A opts
- R3-BV:03/18/25: (A) DELETE OPT 2

APV KMc 3/28/25

- R4 JMC 4/18/25: REVISED SIGN A
- R5-BV:04/24/25: (A,G) RELOCATE

**Information Required
for Production**

Customer Approval

Signature _____

MM/DD/YYYY _____

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214.902.2000 chandler signs.com

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024
Contact: WF / JR
Designer: SDM

Sign Item

BUILDING LTRS

Scale: 3/16"=1"

Revision Note

R1 TS-10/7/24: A - New Pylon
B - H Adj. notes and updt. site
plan
R2-AC-1/21/25: rev A opts
R3-BV:03/18/25: (A) DELETE
OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
A

R5-BV:04/24/25: (A,G)
RELOCATE

**Information Required
for Production**

Customer Approval

Signature

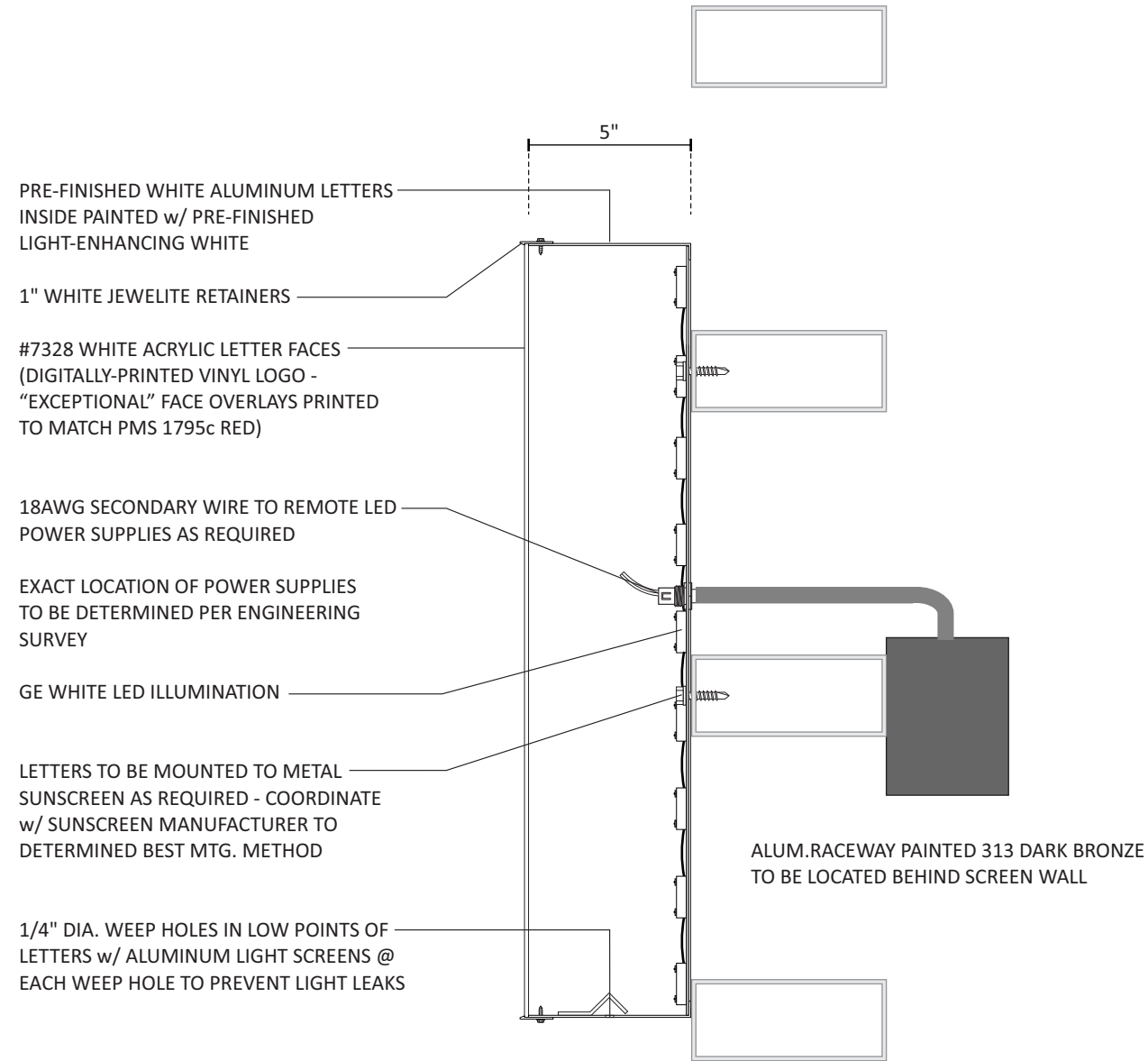
MM/DD/YYYY

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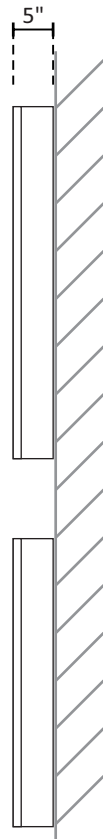
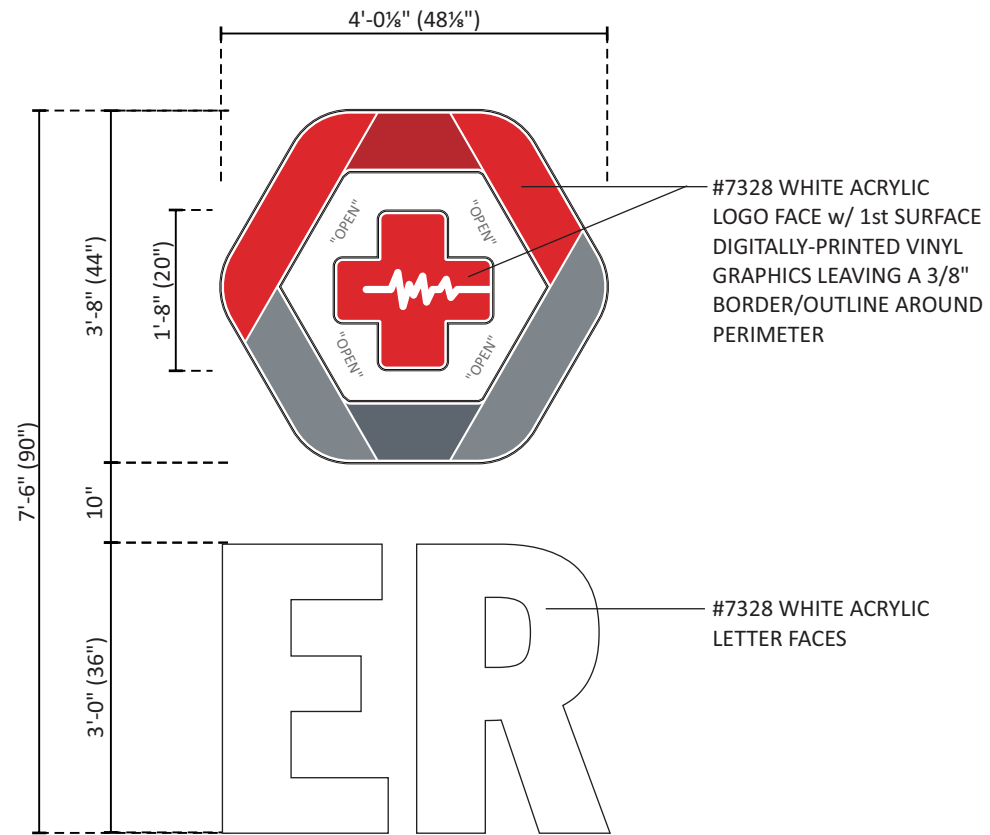


A division of Pattison ID
214.902.2000 chandlersigns.com



B LETTER SECTION DETAIL
REMOTE POWER SUPPLY

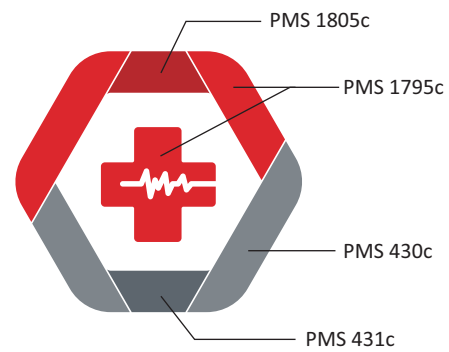
3/16" = 1"



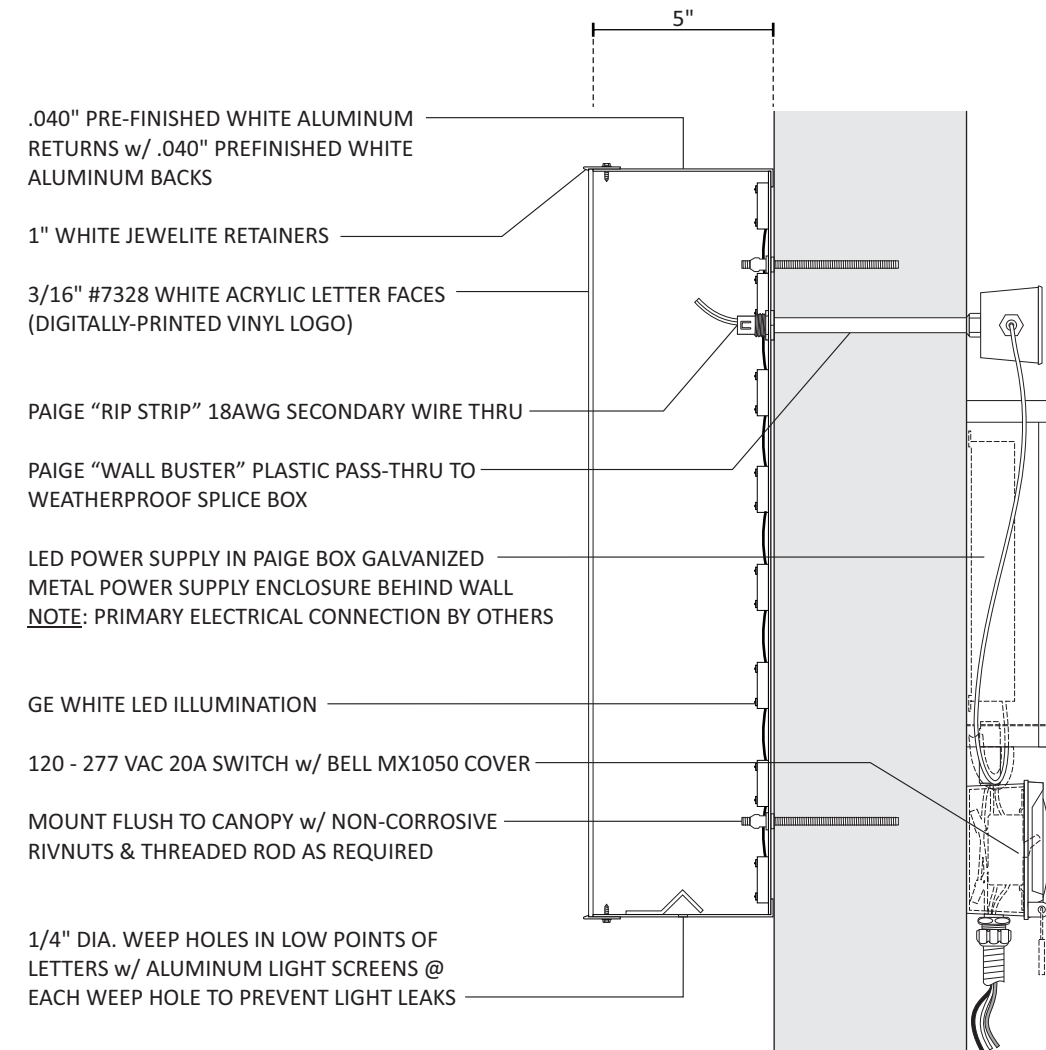
END VIEW

CD LETTER DETAIL SCALE: 1/2" = 1'-0"
 TWO [2] SETS REQUIRED - MANUFACTURE & INSTALL 25.45 Sq.Ft.

ENGINEERING NOTE: REFERENCE WO# 0420100 FOR SAME SIGN @ PRESCOTT, AZ LOCATION



LOGO COLOR DETAIL



LETTER SECTION DETAIL 3/16" = 1"
 REMOTE POWER SUPPLY

Project ID
0424646Ar5

EXCEPTIONAL COMMUNITY HOSPITAL
 340 E. MILLIGAN RD
 ELOY, AZ

Date: 09-26-2024
 Contact: WF / JR
 Designer: SDM

Sign Item

BUILDING LTRS / LOGO

Scale: 1/2" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
 B - H Adj. notes and updt. site plan
 R2-AC-1/21/25: rev A opts
 R3:BV:03/18/25: (A) DELETE OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN A
 R5:BV:04/24/25: (A,G) RELOCATE

Information Required for Production

Customer Approval

Signature

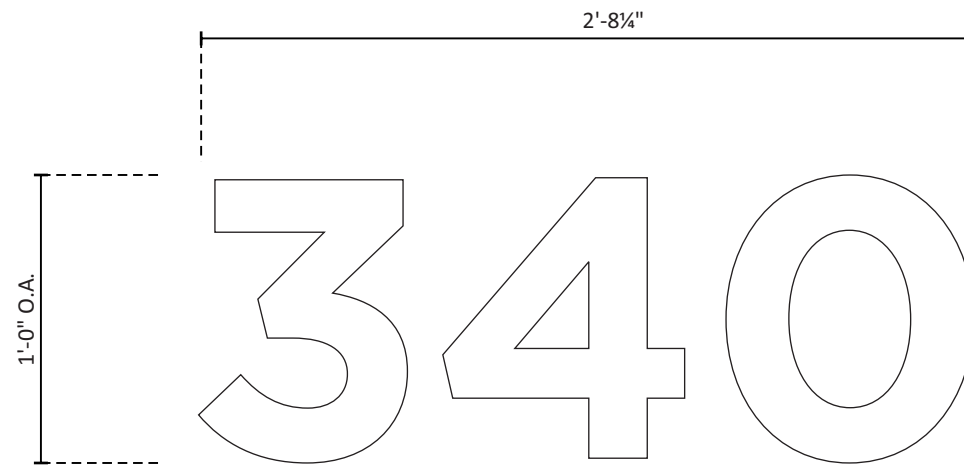
MM/DD/YYYY

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 214.902.2000 chandlersigns.com



E BUILDING ADDRESS FCO's

SCALE: 1½" = 1' - 0"

ONE [1] SET REQUIRED - MANUFACTURE & INSTALL:

1/4" FLAT CUT-OUT ALUMINUM NUMERALS PAINTED WHITE

STUD-MOUNTED FLUSH TO WALL AS REQUIRED

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024
Contact: WF / JR
Designer: SDM

Sign Item

BLD'G ADDRESS

Scale: 1½" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
B - H Adj. notes and updt. site
plan
R2-AC-1/21/25: rev A opts
R3:BV:03/18/25: (A) DELETE
OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
A

R5:BV:04/24/25: (A,G)
RELOCATE

**Information Required
for Production**

Customer Approval

Signature _____

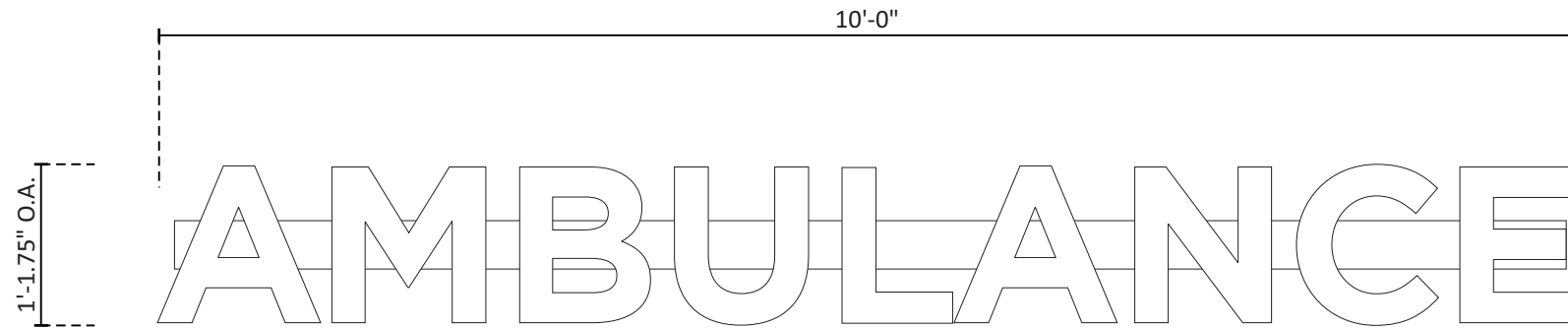
MM/DD/YYYY _____

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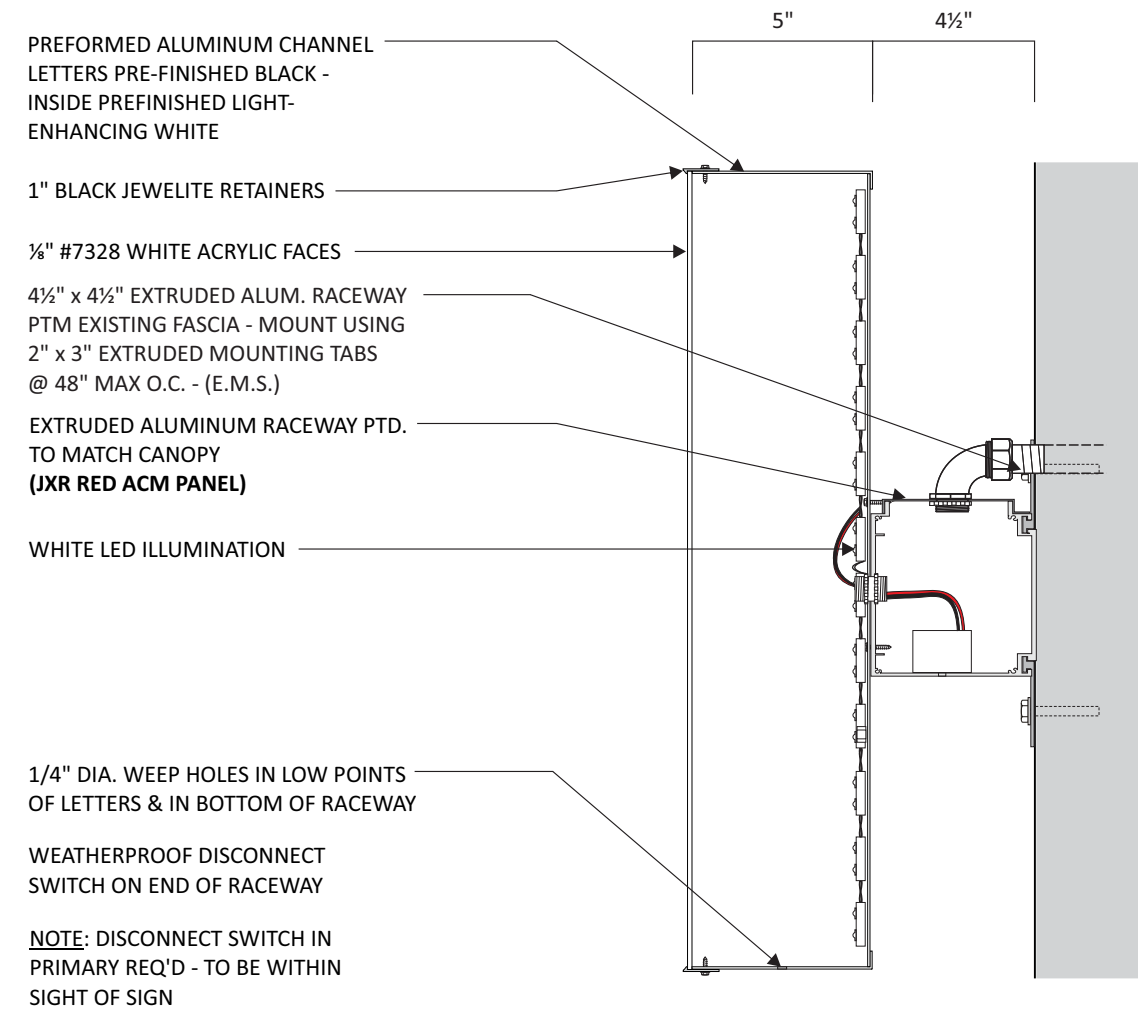


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214.902.2000 chandlersigns.com



F **FACE-LIT CHANNEL LETTERS ON RACEWAY**
 ONE [1] SET REQUIRED - MANUFACTURE & INSTALL

SCALE: 3/4" = 1'-0"



LED LETTER SECTION
RACEWAY-MOUNTED

3/16" = 1"

Project ID
 0424646Ar5

**EXCEPTIONAL
 COMMUNITY HOSPITAL**
 340 E. MILLIGAN RD
 ELOY, AZ

Date: 09-26-2024
 Contact: WF / JR
 Designer: SDM

Sign Item

BUILDING LTRS

Scale: 3/4" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
 B - H Adj. notes and updt. site
 plan
 R2-AC-1/21/25: rev A opts
 R3:BV:03/18/25: (A) DELETE
 OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
 A
 R5:BV:04/24/25: (A,G)
 RELOCATE

**Information Required
 for Production**

Customer Approval

Signature

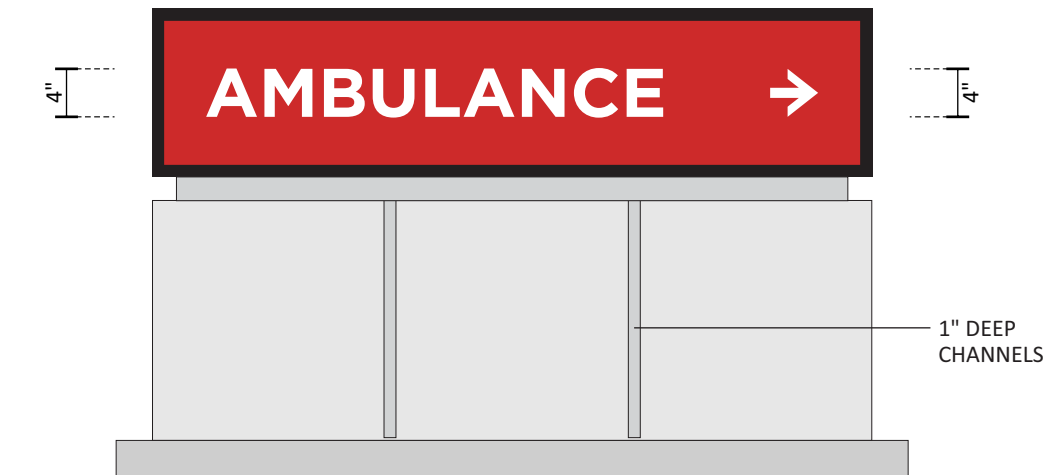
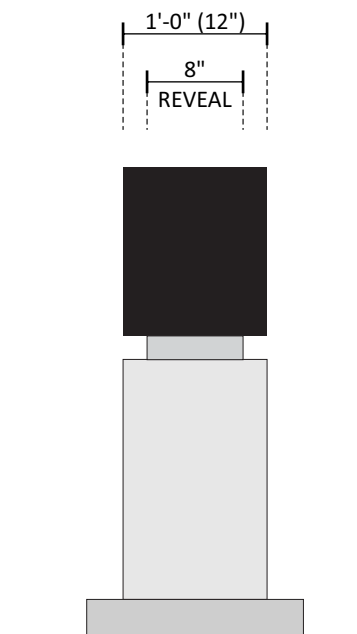
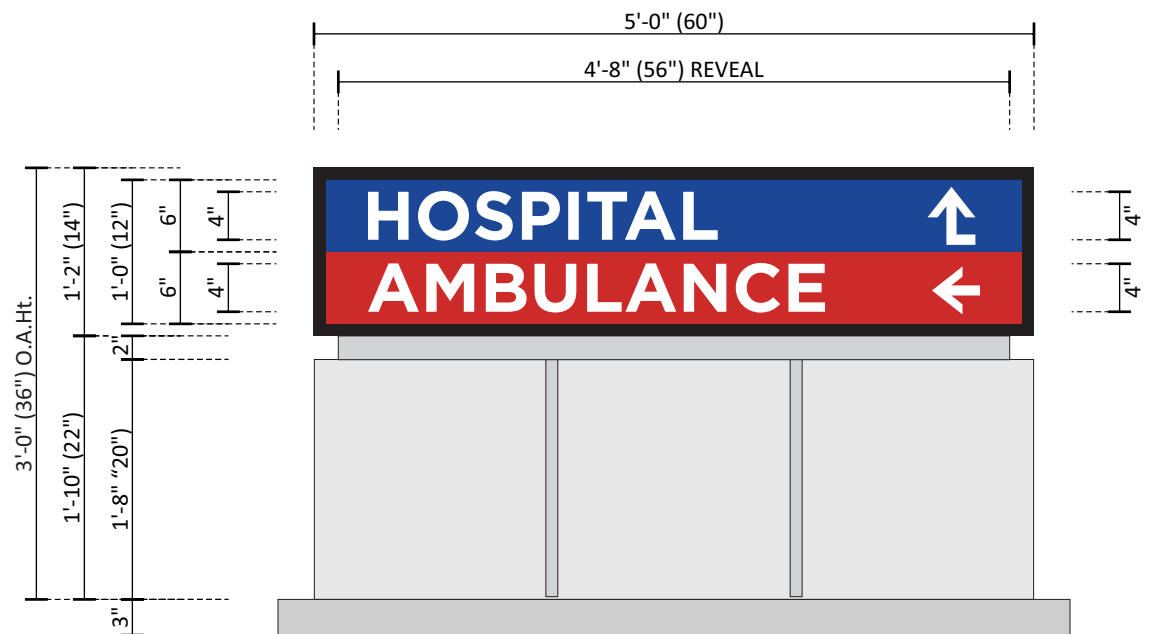
MM/DD/YYYY

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 214.902.2000 chandlersigns.com



G D/F DIRECTIONAL SIGN

SCALE: 3/4" = 1'-0"

ONE [1] REQUIRED - MANUFACTURE & INSTALL:

D/F ALUMINUM FABRICATED CABINET PAINTED BLACK -
ALUMINUM RETAINERS PAINTED BLACK

#7328 WHITE ACRYLIC FACES w/ 1st SURFACE APPLIED 3M VINYL OVERLAYS
w/ SHOW-THRU WHITE COPY & ARROWS -
3630-33 RED VINYL & 3630-97 BRISTOL BLUE VINYL

ALUMINUM REVEAL & ALUMINUM BASE w/ 1" DEEP CHANNELS -
PAINTED AKZO 91163-33 "SATIN ALUMINUM"

WHITE LED ILLUMINATION

CONCRETE MAINTENANCE PAD w/ #3 REBAR @12" O.C. BOTH DORECTIONS

STEEL PIPE SUPPORT SET IN CONCRETE PIER FOUNDATION AS REQUIRED
PER LOCAL CODES & CONDITIONS

END VIEW

OPPOSITE FACE (FRONT)

**ENGINEERING NOTE: REFERENCE WO# 0420100 FOR SAME SIGN
@ PRESCOTT, AZ LOCATION**

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024
Contact: WF / JR
Designer: SDM

Sign Item

DIRECTIONAL SIGN

Scale: 3/4" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
B - H Adj. notes and updt. site
plan
R2-AC-1/21/25: rev A opts
R3:BV:03/18/25: (A) DELETE
OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
A

R5:BV:04/24/25: (A,G)
RELOCATE

**Information Required
for Production**

Customer Approval

Signature

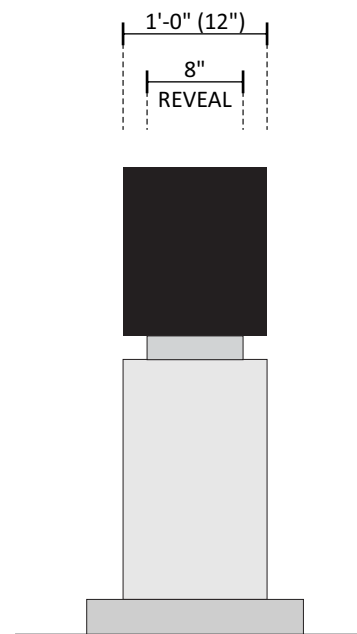
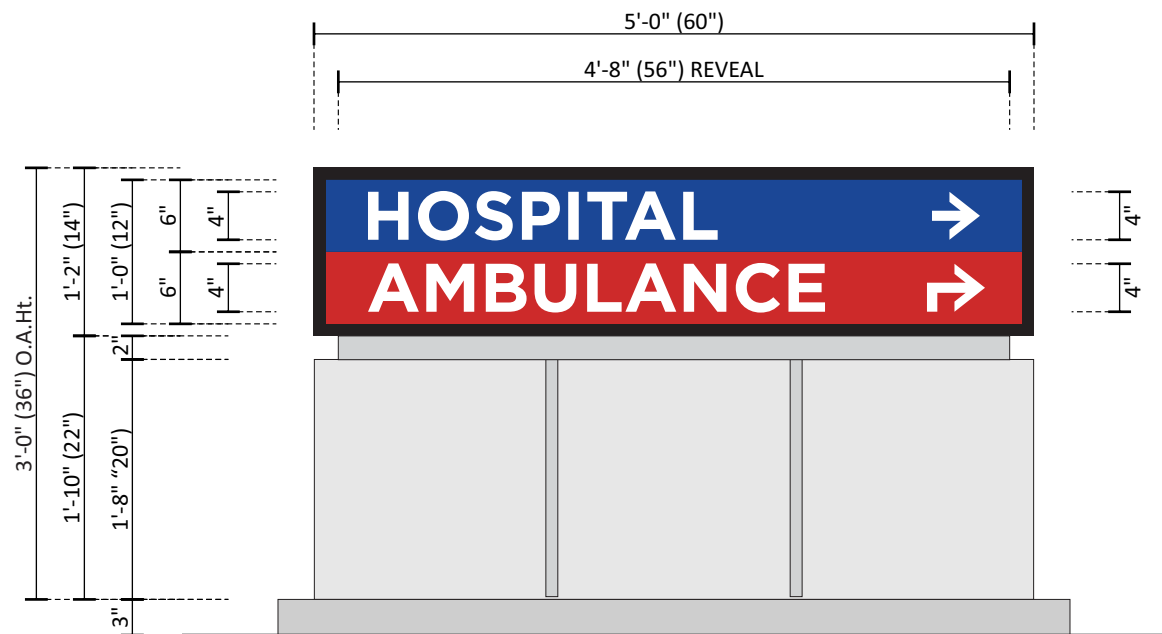
MM/DD/YYYY

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A division of Pattison ID
214.902.2000 chandlersigns.com



H D/F DIRECTIONAL SIGN

SCALE: 3/4" = 1'-0"

ONE [1] REQUIRED - MANUFACTURE & INSTALL:

D/F ALUMINUM FABRICATED CABINET PAINTED BLACK -
ALUMINUM RETAINERS PAINTED BLACK

#7328 WHITE ACRYLIC FACES w/ 1st SURFACE APPLIED 3M VINYL OVERLAYS
w/ SHOW-THRU WHITE COPY & ARROWS -
3630-33 RED VINYL & 3630-97 BRISTOL BLUE VINYL

ALUMINUM REVEAL & ALUMINUM BASE w/ 1" DEEP CHANNELS -
PAINTED AKZO 91163-33 "SATIN ALUMINUM"

WHITE LED ILLUMINATION

CONCRETE MAINTENANCE PAD w/ #3 REBAR @12" O.C. BOTH DORECTIONS

STEEL PIPE SUPPORT SET IN CONCRETE PIER FOUNDATION AS REQUIRED
PER LOCAL CODES & CONDITIONS

END VIEW

OPPOSITE FACE

**ENGINEERING NOTE: REFERENCE WO# 0420100 FOR SAME SIGN
@ PRESCOTT, AZ LOCATION**

Project ID
0424646Ar5

**EXCEPTIONAL
COMMUNITY HOSPITAL**
340 E. MILLIGAN RD
ELOY, AZ

Date: 09-26-2024
Contact: WF / JR
Designer: SDM

Sign Item

DIRECTIONAL SIGN

Scale: 3/4" = 1'-0"

Revision Note

R1 TS-10/7/24: A - New Pylon
B - H Adj. notes and updt. site
plan
R2-AC-1/21/25: rev A opts
R3-BV:03/18/25: (A) DELETE
OPT 2

APV KMc 3/28/25

R4 JMC 4/18/25: REVISED SIGN
A

R5-BV:04/24/25: (A,G)
RELOCATE

**Information Required
for Production**

Customer Approval

Signature

MM/DD/YYYY

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A division of Pattison ID
214.902.2000 chandler signs.com

Project ID
042464Ar3

EXCEPTIONAL
COMMUNITY HOSPITAL
340 E. MILLIGAN RD
ELOY, AZ

Date:
Contact: WF / JR
Designer: SDM

Sign Item

SITE PLAN

Scale: NO SCALE

Revision Note

Information Required
for Production

Customer Approval

Signature

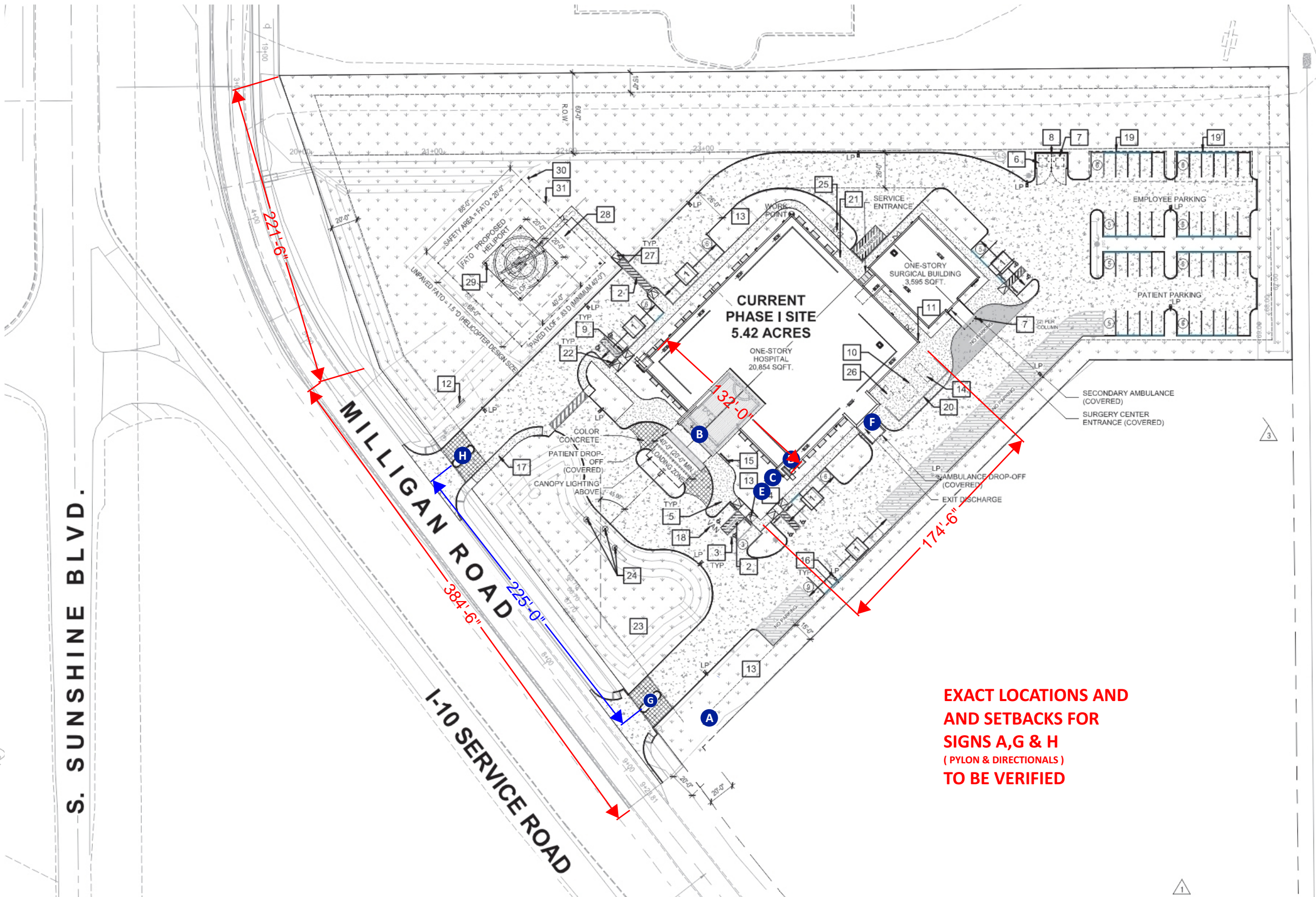
MM/DD/YYYY

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214.902.2000 chandlersigns.com



**EXACT LOCATIONS AND
AND SETBACKS FOR
SIGNS A, G & H
(PYLON & DIRECTIONALS)
TO BE VERIFIED**

SITE PLAN

NTS

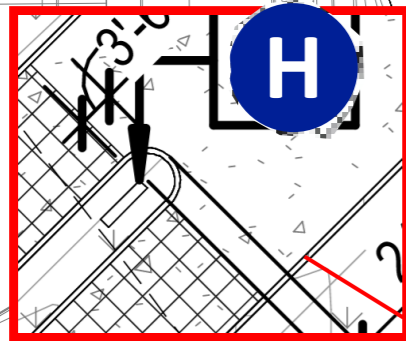
NORTH

S. SUNSHINE BLVD.

APN:
411081810
621 S PENN ST
ELOY

FIR ST.

APN:
411081820
701 S PENN ST
ELOY

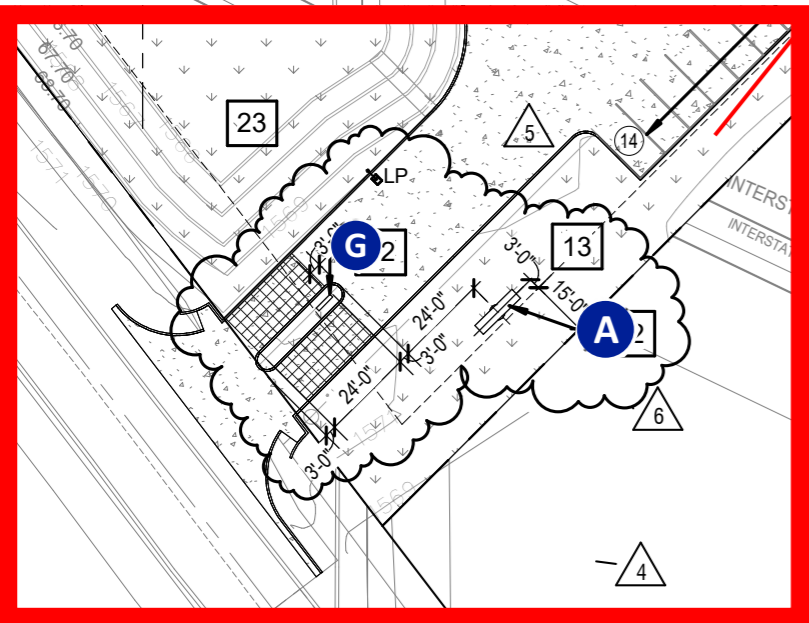


S. SUNSHINE BLVD.

MILLIGAN ROAD

I-10 SERVICE ROAD

FUTURE
PHASE II SITE
4.58 ACRES



CURRENT
PHASE I SITE
5.42 ACRES

SITE PLAN KEYED NOTES BY SYMBOL

1. PARKING STALL STRIPING
2. PAINTED STRIPING @ CROSS WALK, ACCESSIBLE AISLES - PROVIDE 'NO PARKING LABEL'
3. PAINTED ACCESSIBLE PARKING STALL SYMBOL
4. ACCESSIBLE CURB RAMP: COORDINATE WIDTH WITH CURB RETURNS. REFERENCE DETAIL 7/G1.00
5. CONCRETE SIDEWALK/FLATWORK; RE: CIVIL. SOIL CONDITIONING FOR BUILDING SLAB SHALL BE EXTENDED OUT TO INCLUDE AREAS BELOW ALL SIDEWALK/FLATWORK DIRECTLY ADJACENT.
6. 8 YARD DUMPSTER
7. BOLLARDS: 6" STEEL PIPE X 48" HIGH, GROUT FILLED.
8. 8' HIGH WALL W/ SOLID GATES. REFER TO SHEET AS1.2 SITE DETAILS FOR MORE INFORMATION.
9. WHEEL STOP
10. TRANSFORMER & CONCRETE PAD. REF. MEP - COORD. FINAL LOCATION BASED ON LOCAL BUILDING CODES.
11. FIRE DEPARTMENT CONNECTION. REFER TO CIVIL/MEP
12. MONUMENT SIGNS - UNDER SEPARATE CONTRACT - PROVIDE ELECTRICAL CONNECTION - COORD. FINAL LOCATIONS AND NUMBER WITH OWNER
13. LANDSCAPING RE: LANDSCAPE AN IRRIGATION DRAWINGS FOR SPECIES, COUNT, AND LOCATION OF PLANT MATERIAL AND IRRIGATION.
14. GENERATOR, CONCRETE PAD RE:MEP - COORD. FINAL LOCATION BASED ON LOCAL BUILDING CODES.
15. BICYCLE RACK - PER CITY REQUIREMENTS
16. EXTERIOR SITE LIGHTING - RE:SITE UTILITY DRAWINGS FOR FINAL LOCATIONS, COUNT, AND PHOTOMETRICS
17. ACCESSIBLE WALK WAY FROM PUBLIC ACCESS TO FACILITY ENTRANCE
18. VAN ACCESSIBLE PARKING SPACE
19. COVERED PARKING SPACES FULL CANTILEVER SUPPORTS. REFERENCE SPECIFICATIONS
20. 8' HIGH WALL; REFER TO SHEET AS1.2 FOR SIMILAR DETAILS
21. CART WASHING AREA - PER FGI A2.1-4.3.3.3 (5) PROVIDE A HIGH-PRESSURE WATER AND CHEMICAL HOSE/SPRAY SYSTEM TO FACILITATE CLEANING AND A CART-DRYING AREA WHERE CARTS CAN AIR-DRY.
22. ACCESSIBLE PARKING SIGN
23. RETENTION POND - RE:CIVIL
24. FLAG POLE LOCATION PROVIDE (3) FIXTURES PER FLAG POLE. B.O.D. VISTA MODEL 1188 SPEC# 1188-B-NS-50-C-MV-CN-ND-A34-T05
25. GREASE INTERCEPTOR (RE:MEP) COORDINATE FINAL LOCATION WITH ALL UTILITIES AND CONCRETE WORK.
26. UNDERGROUND STORAGE TANK - REF. MEP - COORDINATE FINAL LOCATION WITH UNDERGROUND UTILITIES AND CONCRETE WORK.
27. PROVIDE TRUNCATED DOMES AT ALL VEHICLE TRAFFIC CROSSINGS
28. HOSPITAL HELIPORT- PRIVATE USE CONSISTS OF LANDING SURFACE WITH NO FUELING, DEFUELING, MAINTENANCE, REPAIRS, OR STRUCTURES PROVIDING STORAGE OF HELICOPTER - PROVIDE FLATWORK, MARKINGS, LIGHTING, AND WIND CONE PER CIVIL DRAWINGS AND FAA ADVISORY CIRCULAR AC150/5390-2D HELIPORT DESIGN. RE: 12/AS1.2
29. PROVIDE INGROUND LIGHT FIXTURE RE: 13/AS1.2
30. PROVIDE WINDCONE ASSEMBLY INTERNALLY LIT 10' ON CONCRETE RE: 11/AS1.2
31. PROVIDE 5'-0" HIGH CHAIN METAL SECURITY FENCE. PROVIDE GATE
32. OAH PYLON SIGNAGE RE:SIGNAGE PACKAGE
33. NEW HYDRANT RE:CIVIL

SITE PLAN GENERAL NOTES

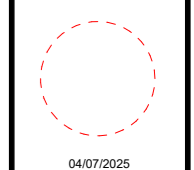
1. DO NOT SCALE DRAWINGS.
2. REFER CIVIL ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION AND DIMENSION CONTROL.
3. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES INSTALLED BY OTHERS.
4. IN NO INSTANCE SHALL PAVING OR FLATWORK DIRECTLY ADJACENT TO THE BUILDING BE HIGHER IN ELEVATION THAN FINISH FLOOR, OR OTHERWISE SLOPE (DRAIN) TO THE BUILDING.
5. IN NO INSTANCE SHALL THE ACCESSIBLE PARKING STALLS, ACCESS AISLES, OR ACCESS ROUTES EXCEED A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, UNLESS NOTED OTHERWISE.
6. PROVIDE FIRE LANE STRIPING AS REQUIRED BY THE FIRE MARSHALL OR LOCAL FIRE AUTHORITY HAVING JURISDICTION.
7. SPACE SIDEWALK/FLATWORK CONTROL JOINTS @ 5'-0" O.C., TYPICAL (U.N.O.) AND EXPANSION JOINTS @ 20'-0" O.C. MAXIMUM (U.N.O.)
8. REFER TO GEOTECHNICAL REPORTS IN CONJUNCTION WITH PROVIDING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL EARTHWORK, EXCAVATION, COMPACTION, IMPORTATION OF FILL OR REMOVAL OF EXISTING MATERIALS AS REQUIRED FOR ALL BUILDING AND SITE CONSTRUCTION AS PART OF THE SCOPE OF THIS WORK.
9. TYPICAL PARKING AREA PAINTED STRIPING SHALL BE 4" WIDE STRIPING PAINTED WITH TWO (2) COATS OF TRAFFIC WHITE WITH 7 MIL DRY FILM THICKNESS PER COAT.
10. REFER TO LANDSCAPING AND IRRIGATION PLANS FOR PLANTING AND IRRIGATION WORK SCOPE. COORDINATE LOCATION OF IRRIGATION METER WITH CIVIL. CONFIRM LOCATION OF IRRIGATION CONTROLLER WITH OWNER PRIOR TO ROUGH-IN.
11. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES PRIOR TO BEGINNING SERVICE CONNECTIONS TO THE BUILDING. GENERAL CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS AT THE BUILDING WITH CIVIL DRAWINGS AND LOCAL UTILITY COMPANIES.
12. THE GENERAL CONTRACTOR SHALL PROTECT ALL COMPLETED SITE WORK IMPROVEMENTS DURING BUILDING CONSTRUCTION.
13. PRIOR TO SUBMITTING BID, THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN BID ANY PROVISIONS FOR SITE CONDITIONS THAT CAN BE REASONABLY INFERRED TO IMPACT BUILDING CONSTRUCTION.
14. UNLESS SPECIFIED BY CIVIL/ STRUCTURAL ENGINEER, THE BASIS OF DESIGN FOR SIDEWALKS AND FLATWORK IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE 4" THICK 3000 PSI CONCRETE WITH #3 BARS PLACED 18" O.C.E.W. ON 6" OF CRUSHED AGGREGATE BASE. CONCRETE SIDEWALKS AND FLATWORK SHALL HAVE A STANDARD BROOM FINISH. REFER CIVIL FOR ALL PAVING DESIGN/DETAILS.
15. IN THE EVENT THE BUILDING CONTRACTOR IS DIFFERENT THAN THE SITE CONTRACTOR, THE BUILDING CONTRACTOR SHALL VERIFY THAT BUILDING PAD CONSTRUCTION IS COMPLETE, AND OBTAIN A COPY OF THE PAD CERTIFICATE PRIOR TO START OF BUILDING CONSTRUCTION. FORWARD COPY OF THE BUILDING PAD CERTIFICATE TO THE OWNER AND ARCHITECT.

SITE TABULATION

SITE AREA:	5.42 AC
BUILDING AREA:	
HOSPITAL	20,854 SF
SURGICAL BUILDING	3,595 SF
PARKING REQUIRED: (1.5/BED)	
8 TOTAL INPATIENT BEDS	12
CLINIC (1/200 SF):	8
SURGICAL BUILDING (1/200 SF):	20
TOTAL PARKING REQUIRED:	40
PARKING PROVIDED:	100
ACCESSIBLE PARKING: (10%)	10
ACC. PARKING PROVIDED:	10
BICYCLES SPACES: (1 PER 10 SPACES FOR FIRST 50) (1 PER 20 FOR REMAINING)	8
BICYCLE SPACES PROVIDED:	11

NOTE:
SURVEYOR RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS

PROJECT # 2023-11
SAEED MAHBOUBI ARCHITECTURE
SAEED MAHBOUBI AIA
3514 CEDAR SPRINGS ROAD DALLAS, TEXAS 75219 | PHONE: (469) 607-0006



04/07/2025
ELOY, AZ. 85131

NEW PROJECT FOR:
EXCEPTIONAL HEALTHCARE
Hospital - Eloy, Arizona
340 EAST MILLIGAN ROAD

DRAWING ISSUES:
ISSUE FOR PERMIT 07/31/2023

REVISION #6	04/08/2025
REVISION #5	02/14/2025
REVISION #4 / CITY COMMENTS	12/24/2024
REVISION #3	09/05/2024
ISSUE FOR ONSITE PERMIT	
CITY COMMENTS/REV. #1	05/09/2024

JOB NO: 2023-11
ARCHITECTURAL SITE PLAN
AS1.1



Project ID
042464Ar3

EXCEPTIONAL
COMMUNITY HOSPITAL
340 E. MILLIGAN RD
ELOY, AZ

Date:
Contact: WF / JR
Designer: SDM

Sign Item

SITE PLAN

Scale: NO SCALE

Revision Note

Information Required
for Production

Customer Approval

Signature

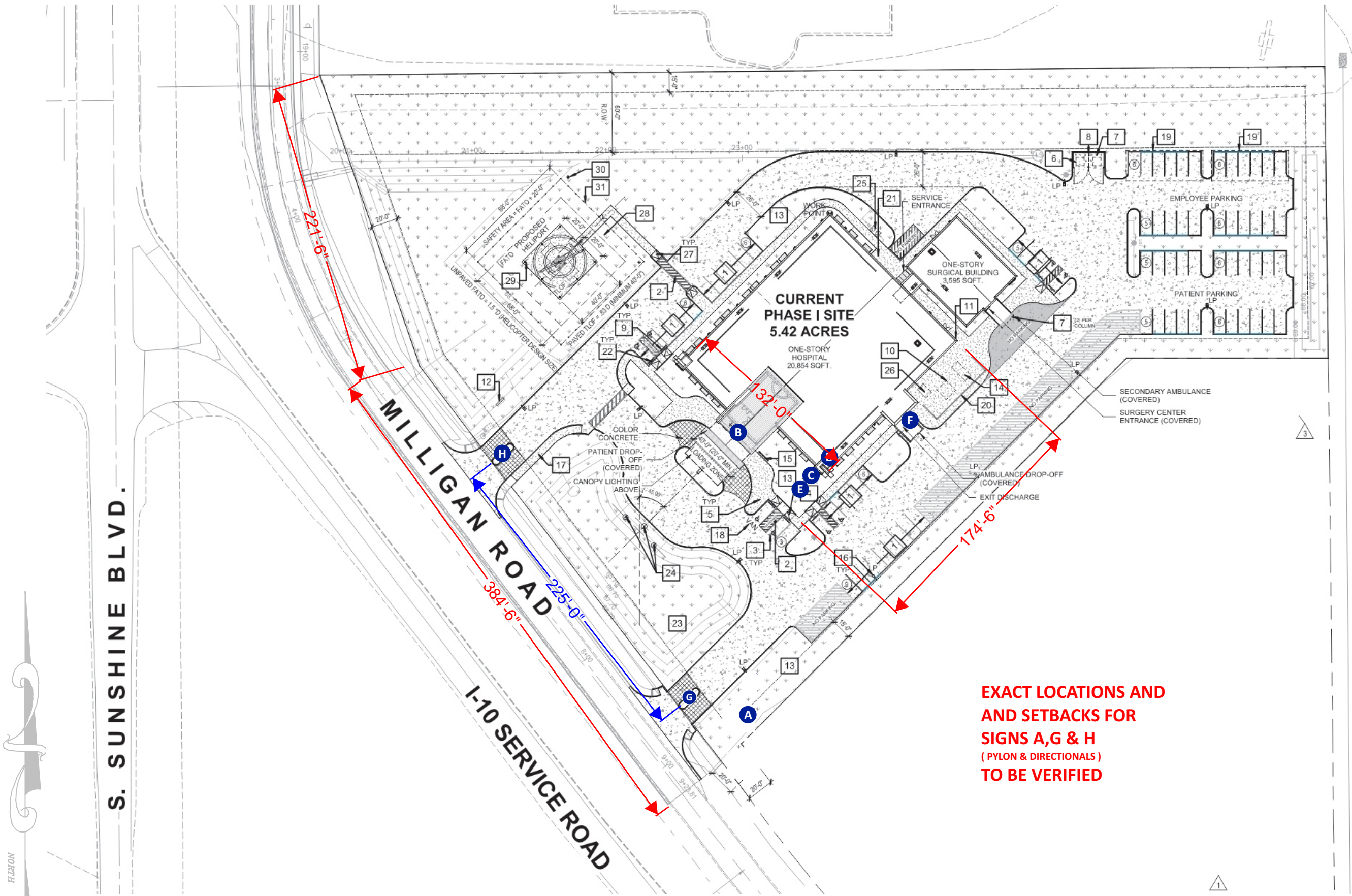
MM/DD/YYYY

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A division of Pattison ID
214.902.2000 chandlersigns.com



**EXACT LOCATIONS AND
AND SETBACKS FOR
SIGNS A, G & H
(PYLON & DIRECTIONALS)
TO BE VERIFIED**

SITE PLAN

NTS

NORTH

S. SUNSHINE BLVD.

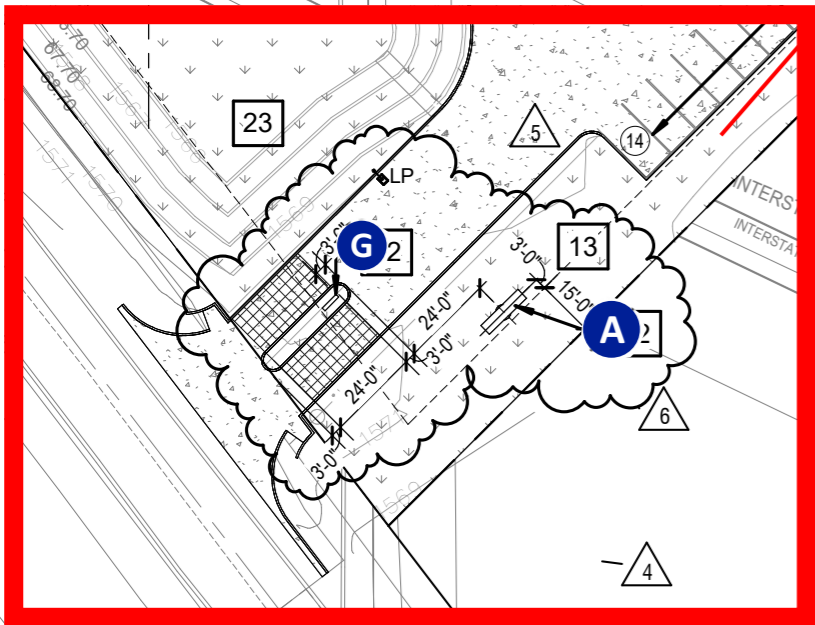
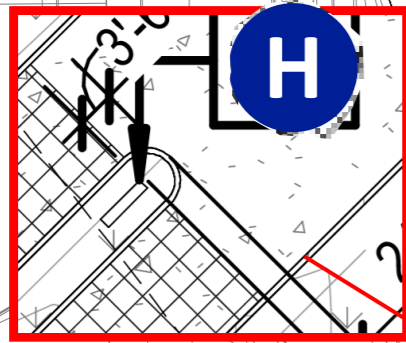
MILLIGAN ROAD

I-10 SERVICE ROAD

APN:
411081810
621 S PENN ST
ELOY

FIR ST.

APN:
411081820
701 S PENN ST
ELOY



S. SUNSHINE BLVD.

MILLIGAN ROAD

I-10 SERVICE ROAD

INTERSTATE HWY I-10 OFF RAMP

I-10

CURRENT PHASE I SITE
5.42 ACRES

FUTURE PHASE II SITE
4.58 ACRES

SITE PLAN KEYED NOTES BY SYMBOL

1. PARKING STALL STRIPING
2. PAINTED STRIPING @ CROSS WALK, ACCESSIBLE AISLES - PROVIDE 'NO PARKING LABEL'
3. PAINTED ACCESSIBLE PARKING STALL SYMBOL
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9. WHEEL STOP
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11. FIRE DEPARTMENT CONNECTION. REFER TO CIVIL/MEP
12. MONUMENT SIGNS - UNDER SEPARATE CONTRACT - PROVIDE ELECTRICAL CONNECTION - COORD. FINAL LOCATIONS AND NUMBER WITH OWNER
13. LANDSCAPING RE: LANDSCAPE AN IRRIGATION DRAWINGS FOR SPECIES, COUNT, AND LOCATION OF PLANT MATERIAL AND IRRIGATION.
14. GENERATOR, CONCRETE PAD RE:MEP - COORD. FINAL LOCATION BASED ON LOCAL BUILDING CODES.
15. BICYCLE RACK - PER CITY REQUIREMENTS
16. EXTERIOR SITE LIGHTING - RE:SITE UTILITY DRAWINGS FOR FINAL LOCATIONS, COUNT, AND PHOTOMETRICS
17. ACCESSIBLE WALK WAY FROM PUBLIC ACCESS TO FACILITY ENTRANCE
18. VAN ACCESSIBLE PARKING SPACE
19. COVERED PARKING SPACES FULL CANTILEVER SUPPORTS. REFERENCE SPECIFICATIONS
20. 8' HIGH WALL; REFER TO SHEET AS1.2 FOR SIMILAR DETAILS
21. CART WASHING AREA - PER FGI A2.1-4.3.3.3 (5) PROVIDE A HIGH-PRESSURE WATER AND CHEMICAL HOSE/SPRAY SYSTEM TO FACILITATE CLEANING AND A CART-DRYING AREA WHERE CARTS CAN AIR-DRY.
22. ACCESSIBLE PARKING SIGN
23. RETENTION POND - RE:CIVIL
24. FLAG POLE LOCATION PROVIDE (3) FIXTURES PER FLAG POLE. B.O.D. VISTA MODEL 1188 SPEC# 1188-B-NS-50-C-MV-CN-ND-A34-T05
25. GREASE INTERCEPTOR (RE:MEP) COORDINATE FINAL LOCATION WITH ALL UTILITIES AND CONCRETE WORK.
26. UNDERGROUND STORAGE TANK - REF. MEP - COORDINATE FINAL LOCATION WITH UNDERGROUND UTILITIES AND CONCRETE WORK.
27. PROVIDE TRUNCATED DOMES AT ALL VEHICLE TRAFFIC CROSSINGS
28. HOSPITAL HELIPORT- PRIVATE USE CONSISTS OF LANDING SURFACE WITH NO FUELING, DEFUELING, MAINTENANCE, REPAIRS, OR STRUCTURES PROVIDING STORAGE OF HELICOPTER - PROVIDE FLATWORK, MARKINGS, LIGHTING, AND WIND CONE PER CIVIL DRAWINGS AND FAA ADVISORY CIRCULAR AC150/5390-2D HELIPORT DESIGN. RE: 12/AS1.2
29. PROVIDE INGROUND LIGHT FIXTURE RE: 13/AS1.2
30. PROVIDE WINDCONE ASSEMBLY INTERNALLY LIT 10' ON CONCRETE RE: 11/AS1.2
31. PROVIDE 5'-0" HIGH CHAIN METAL SECURITY FENCE. PROVIDE GATE
32. OAH PYLON SIGNAGE RE:SIGNAGE PACKAGE
33. NEW HYDRANT RE:CIVIL

SITE PLAN GENERAL NOTES

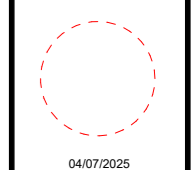
1. DO NOT SCALE DRAWINGS.
2. REFER CIVIL ENGINEERING DOCUMENTS FOR ADDITIONAL INFORMATION AND DIMENSION CONTROL.
3. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES INSTALLED BY OTHERS.
4. IN NO INSTANCE SHALL PAVING OR FLATWORK DIRECTLY ADJACENT TO THE BUILDING BE HIGHER IN ELEVATION THAN FINISH FLOOR, OR OTHERWISE SLOPE (DRAIN) TO THE BUILDING.
5. IN NO INSTANCE SHALL THE ACCESSIBLE PARKING STALLS, ACCESS AISLES, OR ACCESS ROUTES EXCEED A MAXIMUM SLOPE OF 2% IN ANY DIRECTION, UNLESS NOTED OTHERWISE.
6. PROVIDE FIRE LANE STRIPING AS REQUIRED BY THE FIRE MARSHALL OR LOCAL FIRE AUTHORITY HAVING JURISDICTION.
7. SPACE SIDEWALK/FLATWORK CONTROL JOINTS @ 5'-0" O.C., TYPICAL (U.N.O.) AND EXPANSION JOINTS @ 20'-0" O.C. MAXIMUM (U.N.O.)
8. REFER TO GEOTECHNICAL REPORTS IN CONJUNCTION WITH PROVIDING ALL LABOR, MATERIALS, EQUIPMENT AND SERVICES TO COMPLETE ALL EARTHWORK, EXCAVATION, COMPACTION, IMPORTATION OF FILL OR REMOVAL OF EXISTING MATERIALS AS REQUIRED FOR ALL BUILDING AND SITE CONSTRUCTION AS PART OF THE SCOPE OF THIS WORK.
9. TYPICAL PARKING AREA PAINTED STRIPING SHALL BE 4" WIDE STRIPING PAINTED WITH TWO (2) COATS OF TRAFFIC WHITE WITH 7 MIL DRY FILM THICKNESS PER COAT.
10. REFER TO LANDSCAPING AND IRRIGATION PLANS FOR PLANTING AND IRRIGATION WORK SCOPE. COORDINATE LOCATION OF IRRIGATION METER WITH CIVIL. CONFIRM LOCATION OF IRRIGATION CONTROLLER WITH OWNER PRIOR TO ROUGH-IN.
11. CONFIRM LOCATIONS, QUANTITIES, AND COMPLETENESS OF SITE UTILITIES PRIOR TO BEGINNING SERVICE CONNECTIONS TO THE BUILDING. GENERAL CONTRACTOR SHALL COORDINATE UTILITY LOCATIONS AT THE BUILDING WITH CIVIL DRAWINGS AND LOCAL UTILITY COMPANIES.
12. THE GENERAL CONTRACTOR SHALL PROTECT ALL COMPLETED SITE WORK IMPROVEMENTS DURING BUILDING CONSTRUCTION.
13. PRIOR TO SUBMITTING BID, THE GENERAL CONTRACTOR SHALL VISIT THE SITE AND INCLUDE IN BID ANY PROVISIONS FOR SITE CONDITIONS THAT CAN BE REASONABLY INFERRED TO IMPACT BUILDING CONSTRUCTION.
14. UNLESS SPECIFIED BY CIVIL/ STRUCTURAL ENGINEER, THE BASIS OF DESIGN FOR SIDEWALKS AND FLATWORK IMMEDIATELY ADJACENT TO THE BUILDING SHALL BE 4" THICK 3000 PSI CONCRETE WITH #3 BARS PLACED 18" O.C.E.W. ON 6" OF CRUSHED AGGREGATE BASE. CONCRETE SIDEWALKS AND FLATWORK SHALL HAVE A STANDARD BROOM FINISH. REFER CIVIL FOR ALL PAVING DESIGN/DETAILS.
15. IN THE EVENT THE BUILDING CONTRACTOR IS DIFFERENT THAN THE SITE CONTRACTOR, THE BUILDING CONTRACTOR SHALL VERIFY THAT BUILDING PAD CONSTRUCTION IS COMPLETE, AND OBTAIN A COPY OF THE PAD CERTIFICATE PRIOR TO START OF BUILDING CONSTRUCTION. FORWARD COPY OF THE BUILDING PAD CERTIFICATE TO THE OWNER AND ARCHITECT.

SITE TABULATION

SITE AREA:	5.42 AC
BUILDING AREA:	
HOSPITAL	20,854 SF
SURGICAL BUILDING	3,595 SF
PARKING REQUIRED: (1.5/BED)	
8 TOTAL INPATIENT BEDS	12
CLINIC (1/200 SF):	8
SURGICAL BUILDING (1/200 SF):	20
TOTAL PARKING REQUIRED:	40
PARKING PROVIDED:	100
ACCESSIBLE PARKING: (10%)	10
ACC. PARKING PROVIDED:	10
BICYCLES SPACES: (1 PER 10 SPACES FOR FIRST 50) (1 PER 20 FOR REMAINING)	8
BICYCLE SPACES PROVIDED:	11

NOTE:
SURVEYOR RESPONSIBLE FOR VERIFICATION OF ALL DIMENSIONS

PROJECT # 2023-11
SAEED MAHBOUBI ARCHITECTURE
SAEED MAHBOUBI AIA
3514 CEDAR SPRINGS ROAD DALLAS, TEXAS 75219 | PHONE: (469) 607-0006



04/07/2025
ELOY, AZ 85131

EXCEPTIONAL HEALTHCARE
Hospital - Eloy, Arizona
340 EAST MILLIGAN ROAD

DRAWING ISSUES:
ISSUE FOR PERMIT 07/31/2023

REVISION #6	04/08/2025
REVISION #5	02/14/2025
REVISION #4 / CITY COMMENTS	12/24/2024
REVISION #3	09/05/2024
ISSUE FOR ONSITE PERMIT	
CITY COMMENTS/REV. #1	05/09/2024

JOB NO: 2023-11
ARCHITECTURAL SITE PLAN
AS1.1



CITY OF ELOY
REQUEST FOR COMMISSION ACTION

Agenda Item: VII.A.

Date: 5/21/2025

Date submitted:
04/04/2025

Action: Other

Subject: Presentation, discussion,
input, and comments for the General
Plan update

Date requested:
5/21/2025

TO: Planning and Zoning Commission

FROM: Dan Symer

RECOMMENDATION:

Hold a discussion and provide input and comments to staff and city's consultant on information to update General Plan.

DISCUSSION:

The purpose of this agenda item is to provide an update to the Planning and Zoning Commission on the General Plan update process, receive comments, conduct an interactive survey of the Commission members, and gather input on the information that will be included in the consultant's presentation.

FISCAL IMPACT:

There is no anticipated fiscal impact from the proposed request.