



**PUBLIC NOTICE
PLANNING & ZONING COMMISSION**

Meets

Wednesday, January 17, 2024

6:00 PM

**ELOY CITY COUNCIL CHAMBERS
595 NORTH C STREET
ELOY, ARIZONA 85131**

AGENDA

I. Call to Order

II. Roll Call

III. Invocation

IV. Pledge of Allegiance

V. Public Appearances

Those wishing to **ADDRESS THE PLANNING & ZONING COMMISSION** may do so by signing in on a form provided by the Community Development Director, identifying the topic(s) or agenda item(s). **ACTION** taken as a result of public comment regarding non agenda items will be limited to directing staff to study the matter or rescheduling the matter for further consideration and decision at a later date. **SPEAKERS SHALL BE LIMITED TO THREE (3) MINUTES.**

VI. Motion to approve the December 20, 2023, meeting minutes of the Planning and Zoning Commission

A. Meeting Minutes for the December 20, 2023, meeting.

VII. Old Business: Possible discussion and/or action on the following:

VIII. New Business: Possible discussion and/or action on the following:

A. Conduct a public hearing pertaining to an application submitted by Architecture All & Associates on behalf of Martha Rios for a Conditional Use Permit for a proposed restaurant with a drive-through. This application specifically requests the following use under the General Commercial District (C-2) zoning district: Restaurant, with Drive Through. The subject property is located at 3910 W. Shedd Road, Eloy, AZ 85131. Pinal County Assessor's parcel number (APN#) 404-02-0090, in a portion of Section 22, Township 7 South, Range 7 East of the Gila & Salt River Base & Meridian, Pinal County, Arizona. Case No. CUP2023-038. Project Name: Filiberto's Drive-Thru Window).

- B. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial, or continuance of Conditional Use Permit, Case No. CUP2023-038. (Project Name: Filiberto's Drive-Thru Window).
- C. Conduct a public hearing for an application submitted by Mecca Energy, LLC on behalf of Shavell Gounod to rezone approximately 0.52 acres from Single-Family Residential (R1-6) with the Downtown Core Overlay (DCO) to Multiple Family Residential (R-3) (10-24 dwelling units/acre) with a Downtown Core Overlay (DCO). The subject parcel is located at 211 E. 4th Street (between Stuart Boulevard and Sunshine Boulevard, Pinal County Parcel number 405-03-331A) in a portion of Section 6, Township 8 South, Range 8 East of Gila & Salt River Base & Meridian, Pinal County, Arizona. Case No. RZ2023-066 (Project Name: Autumn Cottages @ Eloy)
- D. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial or continuance of Case No. RZ2023-066 (Project Name: Autumn Cottages @ Eloy).

IX. Informational Item:

X. Communications:

XI. Motion to Adjourn

POSTED BY JANUARY 12, 2024 AT ELOY CITY HALL, ELOY POST OFFICE, AND CITY WEBSITE:
www.elayaz.gov

THE FACILITY WILL BE OPEN TO THE PUBLIC 30 MINUTES PRIOR TO THE START OF THE MEETING AND SEATING WILL BE AVAILABLE FOR “REASONABLY ANTICIPATED ATTENDANCE.”



Mary Myers, MMC, CPM
City Clerk

INDIVIDUALS WITH SPECIAL ACCESSIBILITY NEEDS MAY CONTACT LORENA LaSALDE-RIOS, ADA COORDINATOR FOR THE CITY OF ELOY AT 520-466-9201 OR 520-466-7455 (TDD). IF POSSIBLE, SUCH REQUESTS SHOULD BE MADE 72 HOURS IN ADVANCE. ONE OR MORE MEMBERS OF THE COMMISSION AND/OR STAFF MAY PARTICIPATE BY TELEPHONIC OR VIDEO MEANS.

**MEETING MINUTES OF
THE CITY OF ELOY
PLANNING AND ZONING COMMISSION
Regular Meeting
Wednesday, December 20, 2023
6:00 p.m.**

I. CALL TO ORDER

Chairperson Steven Paulson called the meeting to order at 6:00 p.m.

II. ROLL CALL

*One or more Planning and Zoning Commission members may attend by telephone.

Members present:

- Chairperson Steven Paulson
- Commissioner Allen Crawford
- Alternate Commissioner Kathryn Meyers
- Ex-Officio Andrew Sutton

Members Absent:

- Vice-Chairperson Conrad Tolson (excused absence)
- Commissioner Edward Saucedo

Staff present:

- David Malewitz, City Manager/Interim Director for Community Development
- Belinda Cota, Planner

Others present/speakers:

- Mayor Micah Powell
- Council member Daniel Snyder
- Anthony Beavers, Love's Real Estate Project Manager
- David Lundgren, Avantus (also known as 8minute) Sr. Director, Permitting
- Brian Underwood, The Planning Center
- Ralph Varela, Pinal Hispanic Council
- Maryann Beerling, Compass Affordable Housing/CAH Housing Services
- Bob Landing
- Clay Abernathy, Ideal Trade Institute

III. INVOCATION

Chairperson Paulson led the Invocation and requested a moment of silence.

IV. PLEDGE OF ALLEGIANCE

Chairperson Paulson led the recitation of the Pledge of Allegiance.

V. PUBLIC APPEARANCES

None.

VI. MOTION TO APPROVE THE AUGUST 16, 2023, MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION

A. THE MEETING MINUTES FOR THE AUGUST 16, 2023, PLANNING & ZONING COMMISSION.

Chairperson Paulson requested a motion to approve the Planning and Zoning Commission meeting minutes. Commissioner Crawford motioned to approve the August 16, 2023, meeting minutes. Alternate Commissioner Myers seconded the motion as proposed.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers
NAYS: None.

The motion passed unanimously with a vote of 3-0.

VII. MOTION TO APPROVE THE SEPTEMBER 20, 2023, MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION

A. THE MEETING MINUTES FOR THE SEPTEMBER 20, 2023, PLANNING & ZONING COMMISSION.

Chairperson Paulson requested a motion to approve the Planning and Zoning Commission meeting minutes. Commissioner Crawford motioned to approve the presented September 20, 2023, meeting minutes. Alternate Commissioner Myers seconded the motion as proposed.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers
NAYS: None.

The motion passed unanimously with a vote of 3-0.

VIII. OLD BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

None.

IX. NEW BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

A. CONDUCT A PUBLIC HEARING ON CASE NO.: CSP2023-056: APPLICATION SUBMITTED BY KEVIN KEUP WITH EFFECTIVE IMAGES ON BEHALF OF LOVE'S TRAVEL STOP, FOR A COMPREHENSIVE SIGN PACKAGE TO ALLOW THE INSTALLATION OF THE FOLLOWING SIGNS FOR THE NEW LOVE'S TRUCK STOP STORE TO BE LOCATED AT 2950 N. TOLTEC ROAD PROPOSING THE FOLLOWING: ONE (1) FREEWAY PYLON (HIGH-RISE) AT 1,240.36 SQUARE FEET AND 100 FEET HIGH, ONE (1) FREESTANDING AT 223.46 SQUARE FEET AND 25 FEET HIGH, BUILDING (WALL MOUNTED) SIGNS TOTALING 528.05 SQUARE FEET, TRUCK WASH (WALL MOUNTED) SIGNAGE TOTALING 184.46 SQUARE FEET, FUEL CANOPY SIGNS AT 187.12 SQUARE FEET, DIRECTIONAL SIGNAGE TOTALING 104.66 SQUARE FEET, AND ONE (1) CAT SCALE SIGN AT 114.98 SQUARE FEET. ASSESSOR'S PARCEL NUMBERS: 403-23-002A AND 403-23-003B. THE SUBJECT PROPERTY IS IN A PORTION OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 7 EAST OF THE GILA & SALT RIVER BASE & MERIDIAN, PINAL COUNTY, ARIZONA. (PROJECT NAME: LOVE'S TRAVEL STOP)

Chairperson Paulson opened the public hearing.

Mr. Anthony Beavers with Love's Real Estate introduced himself and gave a short PowerPoint presentation where he pointed out the location of each proposed signage. The high rise is at the north end of the property and is designed for the eighteen-wheelers coming off the freeway to have adequate visibility to change lanes safely from either direction of the highway. It will include a sign to have a Wendy's and a Dunkin Donuts. The street signs are for the four-wheel traffic, mainly car traffic. The Loves signs will have a logo, and a Wendy's logo will be placed near the restaurant on the top of the building; the canopies will also include the logos. The directional signs are critical to helping the drivers visualize the truck area especially. Semi-trucks are higher than regular cars, and the trucker needs to have a visual. There will be three in the car area, and there will be one for the truck drivers. The cat scale sign is a standard for the trucks. He asked that their request for the Comprehensive Sign Package be approved as presented.

Chairperson Paulson asked if anyone had any questions or comments, and hearing none, Chairperson Paulson closed the public hearing.

B. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL, OR CONTINUANCE OF CASE NO.: CSP2023-056. (PROJECT NAME: LOVE'S TRAVEL STOP).

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: CSP2023-056. Commissioner Crawford made a motion to recommend approval to the Eloy City Council. Alternate Commissioner Myers seconded the motion.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers.

NAYS: None.

The motion passed with a vote of 3-0.

C. CONDUCT A PUBLIC HEARING ON CASE NO.: CUP2022-038: APPLICATION SUBMITTED BY 301AK 8M LLC, A SUBSIDIARY OF AVANTUS LLC, WHO IS REQUESTING A CONDITIONAL USE PERMIT AT THE SOUTHWEST CORNER OF MILLIGAN ROAD AND ELEVEN MILE CORNER ROAD, TO ALLOW THE DEVELOPMENT OF THE KITT 1 SOLAR PROJECT, A 100 MEGAWATT SOLAR PHOTOVOLTAIC POWER GENERATING AND 100 MEGAWATT BATTERY ENERGY STORAGE SYSTEM AND ASSOCIATED ANCILLARY FACILITIES. THE PROPOSED PROJECT IS LOCATED WITHIN THREE PRIVATELY OWNED PARCELS (PINAL COUNTY ASSESSOR'S PARCEL NUMBERS: 408-01-022B, 408-01-022C, AND 408-01-022D), CONSISTING OF APPROXIMATELY 646 ACRES, UTILIZING ALL OF SECTION 13, TOWNSHIP 8 SOUTH, RANGE 7 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA

Chairperson Paulson opened the public hearing.

Mr. David Lundgren with Avantus (also known as 8minute) introduced himself, thanked the Commissioners for having him, and gave a short PowerPoint presentation. Mr. Lundgren gave a quick overview of the company, founded in 2011 and has developed over two Gigawatts (GW) operating facilities in the southwest. They have an industry-leading pipeline of eighty projects across the Western United States, encompassing 48 gigawatts (GW) of power plants and almost 97 gigawatt hours (GWh) of battery storage. He gave a brief overview of the proposed project. The Kitt 1 Solar & Storage Center is one hundred megawatt photovoltaic plus a one hundred megawatt by four hour Battery Energy Solar System (100MWac PV + 100MWx4hr BESS) in size; it will be within Section 13, Township 8 South, Range 7 East in approximately 645.7 acres and will be interconnecting into the existing APS Milligan 69kV Substation located to the northeast of the site. They are looking to begin construction at the beginning of March 2025 and have a full commercial operating date in May 2026. The Jobs impact would be up to 300 construction jobs at peak and five operations and maintenance jobs after the construction and for the project's life. Some of the projects in Arizona have an economic benefit of up to two million dollars of tax revenue to the city during the construction period and between ten to fifteen million dollars during the operation lifetime of the project, and those are average numbers. Mr. Lundgren stated they will conduct an economic evaluation starting in the New Year. Additionally, on the watering side, they will use approximately 150-acre feet during construction and one ____ acre-feet per year for panel washing and dust control and sorts of things during the operation phase. He went over some brief milestones and stated they initiated permitting with the city in 2022, submitted the Conditional Use Permit (CUP) application a couple of times after the property was annexed into the City of Eloy, and have been working with the Community Development Department as the Solar Ordinance was taking place and was approved in August, they resubmitted their CUP application, and here they are today. As mentioned previously, they are looking to start construction in January 2025 and have the operation in 2026. Mr. Lundgren showed the Kitt Conceptual site layout. He added he would be happy to answer any questions they may have and that the site met all the setbacks and height restrictions

identified by the Solar Ordinance. He went on to the next slide and explained the site is in conformance with the Eloy General Plan, and as mentioned previously, the subject site, Section 13, was annexed from unincorporated Pinal County into the City of Eloy in December 2022 with a transitional zoning designation of R1-54. Eloy's Zoning Code permits solar as an approved use in the R1-54 Zoning District with an approved CUP. The project would comply with the approval of this CUP and compliance with Section 21-3-1.39 from Chapter 21-Zoning Ordinance. He commented he went through the list of required findings for approval of the Conditional Use Permit and offered to read through them or answer any questions. The chairperson responded he would not have to read through them all.

Ex-Officio Sutton asked if the applicant knew what kind of battery are proposing. Mr. Lundgren responded they do not have the exact technology identified right now through a procurement process with other vendors. He commented that a lot of the time is lithium-ion as is very popular so they will be evaluating that. Ex-Officio Sutton asked what the height of the solar panels was and if they would be close to the ground or if the panels would be tall. Mr. Lundgren responded they would be approximately six to eight feet at the normal tilting range; however, at peak (mid-day), they could be up to fifteen feet tall. Ex-Officio Sutton commented he would prefer something higher so the sheep or the lawman can get under because he has seen the existing solar panels and noticed weeds growing underneath the panels, and that looks ugly, to be honest. Mr. Lundgren commented that the height restrictions are part of the Development Standards, and they will be designed in conformance with that and will meet the requirements for vegetation maintenance. Ex-Officio Sutton said thank you.

Hearing no other comments, Chairperson Paulson closed the public hearing.

D. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL, OR CONTINUANCE OF CASE NO.: CUP2022-038. (PROJECT NAME: KITT 1 SOLAR PROJECT)

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: CUP2022-038. Commissioner Crawford made a motion to recommend approval to the Eloy City Council. Alternate Commissioner Myers seconded the motion.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers

NAYS: None.

The motion passed with a vote of 3-0.

E. CONDUCT A PUBLIC HEARING ON CASE NO.: GPA2023-039. APPLICATION SUBMITTED BY THE PLANNING CENTER ON BEHALF OF PINAL HISPANIC COUNCIL FOR A MINOR GENERAL PLAN AMENDMENT ON PINAL COUNTY ASSESSOR'S PARCEL NUMBERS 405-03-066 AND 405-03-068 CONSISTING OF APPROXIMATELY 0.87 ACRES FROM COMMUNITY COMMERCIAL TO

HIGH-DENSITY RESIDENTIAL. SUBJECT PARCELS ARE LOCATED AT THE NORTHWEST CORNER OF 4TH STREET AND STUART BOULEVARD, IN A PORTION OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA & SALT RIVER BASE & MERIDIAN, PINAL COUNTY, ARIZONA. (PROJECT NAME: STUART & 4TH)

Mr. Brian Underwood with the Planning Center introduced himself and gave a presentation for the minor General Plan amendment and Rezoning (next agenda item VII G.). He introduced Ralph Varela with the Pinal Hispanic Council, Maryann Beerling, who will oversee the project's construction and property management, Ideal Trade Institute, the contractor building the home, and Bob Landing, the architect.

He gave a brief context of the project. The site is directly from the Pinal Hispanic Council, where they are proposing affordable housing that the Ideal Trade Institute will build. Being across it will allow the Pinal Hispanic Council to oversee daily construction as residents move in and continue to live onsite over time. He added that it is a project needed for the housing crisis and will activate the neighborhood for needed housing. It will be a legacy project for the Pinal Hispanic Council, and they can be proud of it and keep a close watch. To the west of the site is Main Street, an alley adjacent to the property, and businesses along Main Street. To the east side of the site is Stuart Boulevard; to the north, there is some existing duplex/multifamily; and Pinal Hispanic Council across the south. He pointed out the parking area Pinal Hispanic has to the west and pointed out that it is open to the public and after hours and will serve as an overflow parking should it be needed for the proposed project (Stuart & 4th). He gave a summary and stated they began with this project at the beginning of the year 2023, had a pre-application meeting in January 2023, and have been working throughout the year with Mr. Jon Vlaming, refining the design for the Tiny Home Village and ensuring it meets all of City of Eloy standards. To bring this to fruition, they are requesting a minor general plan amendment from Community Commercial to High-Density Residential because it is within proximity to the Downtown, and all the land around it to the north, west, and south is designated for commercial development but need the influx of housing in the area. Therefore, they are proposing an amendment to High-Density Residential and a rezoning from the C-1, Neighborhood Commercial with a Downtown Core Overlay to R-3, Multiple Family Residential (10-24 du/ac) with a Downtown Core Overlay, subject to the Tiny House Park Design Guidelines (Section 21-2-7.11 of the Zoning Ordinance) being within the Downtown Core Overlay (DCO) it will allow this affordable housing project employing the 50% parking reduction. As mentioned, additional parking spaces will be at the Pinal Hispanic Council site.

Mr. Underwood commented that a handful of people attended the neighborhood meeting in November 2023. The feedback was very positive; some comments said they were glad they were doing something for the community and that the vacant lot would be developed. one of the questions became who would maintain this and what the community rules would be. There was a discussion that there would be

community rules and a property manager, and he mentioned that half of the team present would be on speed dial should a need ever arise to deal with an incident. From a plan view perspective of what is being proposed, the site is 0.85 acres, and are proposing twenty (20) Tiny Homes as shown on the layout shown on the PowerPoint presentation. The homes are mainly one-bedroom/one-bathroom, studio units, accessible studio units, and a few two-bedroom units for couples or folks that need a two-bedroom. The parking lot would usually be thirty spaces. Per the Downtown Core Overlay, they are proposing a fifty percent fifty percent (50%) reduction as there will be very little car ownership use. As part of the Pinal Hispanic Service, shuttle services will be available to take them where they need to be. A couple more pedestrian access will come from Stuart Boulevard and 4th Street, leading to the central covered community area with a ramada and laundry facility. To the north, there will be some green open space/drainage and a setback to the property's north. All of the homes will be prefabricated modular homes built by Ideal Trade Institute, and the architect present will build the ramada. Each unit will have its own private space, giving them stable housing like theirs. Mr. Abernath explained the concept of each unit and presented a YouTube video <https://www.youtube.com/watch?v=qNxYJkqP7zw> of how they are built and a walk-through inside the models at Ideal Trade Institute. Mr. Underwood asked if anyone had any questions.

Commissioner Crawford asked who would be utilizing the proposed facilities/homes. Mr. Underwood responded that the units are affordable housing units for folks in Eloy and within Pinal County who are experiencing homelessness, trying to get back on their feet, needing assistance with employment, and becoming self-sufficient again. It will be folks in programs through the Pinal Hispanic Council and Intermountain Center, which is the affiliated company. Mr. Crawford asked if they would be U.S. citizens or non-U.S. citizens. Mr. Underwood responded, U.S. citizens. Commissioner Crawford asked if the residents would not pay any rent. Mr. Underwood responded that the residents would be paying rent. Ms. Beerling responded that they would have a twelve 12-month lease agreement and abide by all the rules and regulations a regular market tenant would have. There will be monthly checks, which will be run by a 3rd party managing agency and are for low-income people; some may be working or social security, and some may need the services of Pinal Hispanic Council from wellness services, medical services, behavioral health services, or any counseling. For example, if they are not employed, they will help to get them employed. There will be rent charged.

Mr. Malewitz asked about their discussion about how this place would be managed, who would do it, and if there would be an on-site manager; would the on-site manager be employed full-time by the 3rd Party Managing agency, or would it be a participant from the program? Ms. Beerling responded they would like both. She explained that their 3rd party managing agency will be on-site regularly but would like to eventually prepare a participant with the job offer for the weekends and evenings to be the eyes and ears for the presence. Mr. Malewitz asked what would happen after the twelve-month leases for those participants, and if they are successful and the participant moves out, he asked how they would fill that void for

someone to be on-site; he asked who would fill the vacancy. He expressed his concern if there is a gap where the city may have to provide services. Ms. Beerling responded they would know about it and address it on time, and the Pinal Hispanic Council would be there.

Hearing no other comments, the public hearing closed.

F. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL, OR CONTINUANCE OF CASE NO.: GPA2023-039. (PROJECT NAME: STUART & 4TH)

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: GPA2023-039. Commissioner Crawford made a motion to recommend approval to the Eloy City Council. Alternate Commissioner Myers seconded the motion.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers.

NAYS: None.

The motion passed with a vote of 3-0.

G. CONDUCT A PUBLIC HEARING ON CASE NO. RZ2023-040. APPLICATION SUBMITTED BY THE PLANNING CENTER ON BEHALF OF PINAL HISPANIC COUNCIL, TO REZONE PINAL COUNTY ASSESSOR'S PARCEL NUMBERS: 405-03-066 AND 405-03-068 CONSISTING OF APPROXIMATELY 0.87 ACRES FROM C-1, NEIGHBORHOOD COMMERCIAL WITH A DOWNTOWN CORE OVERLAY (DCO) TO R-3, MULTIPLE FAMILY RESIDENTIAL (10-24 DWELLING UNITS PER ACRE) WITH A DOWNTOWN CORE OVERLAY (DCO) SUBJECT TO THE TINY HOUSE PARK DESIGN GUIDELINES (21-2-7.11). SUBJECT PARCELS ARE LOCATED AT THE NORTHWEST CORNER OF 4TH STREET AND STUART BOULEVARD, IN A PORTION OF SECTION 6, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA & SALT RIVER BASE & MERIDIAN, PINAL COUNTY, ARIZONA. (PROJECT NAME: STUART & 4TH)

Chairperson Paulson opened the public hearing.

This agenda item had a previous PowerPoint presentation for a minor general plan amendment and this rezoning case.

Hearing no other comments, Chairperson Paulson closed the public hearing.

H. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL, OR CONTINUANCE OF CASE NO.: RZ2023-040. (PROJECT NAME: STUART & 4TH)

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: RZ2023-040. Commissioner Crawford made a motion to recommend approval to the Eloy City Council. Alternate Commissioner Myers seconded the motion.

AYES: Chairperson Paulson, Commissioner Crawford, Alternate Commissioner Myers.

NAYS: None.

The motion passed with a vote of 3-0.

X. INFORMATIONAL ITEM:

None.

XI. COMMUNICATIONS:

Ex-officio Council member Andrew Sutton communicated the following:

- Ex-officio Sutton introduced himself and has been a City Council member since July 2023.
- On September 24, 2023, the City Council approved the rezoning application for the Love's Truck Stop from R1-12 to C-2. And their Conditional Use Permit to allow the truck stop, the restaurants, and the truck wash. Both with a 7-0 vote.
- On October 9, 2023, the City Council approved a Conditional Use Permit for a new hospital proposed by Exceptional Healthcare on 10 acres off of Milligan Road. Approved with a 7-0 vote.
- On October 16, 2023, a group of City Council members and staff toured Ideal Trade Institute in Tucson, Arizona, and commented everyone was pleased with the finished product.
- On October 20, 2023, a group of City Council members and Mayor Powell attended the grand opening and ribbon cutting of the new Barber/Beauty Academy located along Main Street.
- City had its Light Parade which was a success.

City Manager David Malewitz communicated the following:

- He informed the Commissioners that the City has hired a new Community Development Director and his name is Daniel Symer and he comes from the City of Peoria, Arizona; prior to that he worked in Flagstaff, AZ and Yuma, AZ and seventeen years of his career he was in Scottsdale, AZ. He has served several planning capacities as a regular planner, senior planner, has been a project lead, assistant director of community development and Zoning administrator and will help the city to take these project to the next steps and help spearhead where we are going with Eloy and continue helping the applicants through their projects and his effective date to star would be January 2, 2024 and he will be here on the January 17th, 2024, Planning and Zoning Commission meeting. He added one thing that really impressed him about Mr. Symer is that there are a lot of projects going on, and have a lot of interest in doing things differently, changing and being open-

minded with new developments, and not being so rigid on the past zoning. He has experienced growth and has seen a lot of things happen in his lifetime, and he is eager to come to a city like Eloy, and the city is excited to have him on board.

Chairperson Paulson said congratulations. Mr. Malewitz stated that Ms. Cota has done a fantastic job and has stepped off in the Community Development Department. He could not do what he did without Belinda's experience, expertise, and guidance and thank her for that. Chairperson Paulson stated they look forward to meeting Mr. Symer.

XII. MOTION TO ADJOURN

Chairperson Paulson asked for a motion to adjourn. Commissioner Crawford made a motion to adjourn, which Alternate Commissioner Myers seconded. The meeting adjournment passed with a vote of 3-0, and the meeting adjourned at approximately 7:02 p.m. Chairperson Paulson wished everyone happy holidays.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VIII.A.**

Date: **1/17/2024**

Date submitted:
01/02/2024

Action: Other

Date requested:
1/17/2024

Subject: Conduct a public hearing pertaining to an application submitted by Architecture All & Associates on behalf of Martha Rios for a Conditional Use Permit for a proposed restaurant with a drive-through. This application specifically requests the following use under the General Commercial District (C-2) zoning district: Restaurant, with Drive Through. The subject property is located at 3910 W. Shedd Road, Eloy, AZ 85131. Pinal County Assessor's parcel number (APN#) 404-02-0090, in a portion of Section 22, Township 7 South, Range 7 East of the Gila & Salt River Base & Meridian, Pinal County, Arizona. Case No. CUP2023-038. Project Name: Filiberto's Drive-Thru Window).

TO: Planning and Zoning Commission

FROM: Dan Symer, Belinda Cota

RECOMMENDATION:

Addressed in the next agenda item.

DISCUSSION:

The City has received an application from Architecture All & Associates on behalf of Martha Rios for a Conditional Use Permit for a proposed Filiberto's Mexican Food Drive-Thru Window. This request specifically requests the following use under the C-2, Community Development zoning district: A Drive-Thru Window according to Section 2.3.3 and Table 2.3-1 of the Eloy Zoning Ordinance. The subject building is at 3910 W. Shedd Road, Eloy, AZ 85131. Pinal County Assessor's parcel number is 404-02-0090, in the C-2 Community Commercial.

This Conditional Use Permit (CUP) application is for an existing 1,400 +/- square foot building previously used for commercial use (previously a water and ice convenience store). The existing building will be designed and converted into a restaurant with a drive-thru window, as shown in the conceptual plan (see Pre-App Site Plan for CUP).

The property APN# 404-02-0090 consists of 0.38 acres. Upon receiving approval of this Conditional Use Permit application, the property owner intends to work with the City Staff regarding the site design, and process a lot combination to include the subject property and the property to the south (APN# 404-10-011A). As indicated in the Site Plan that is included in the attached Preliminary Development Plan, both properties will accommodate a revised site design that includes a new driveway entry, parking, and drive-through entrance/exit on the southern property (APN# 404-10-011A). Also, the revised site design will accommodate an area for outdoor dining and a much larger landscape area (see the attached Preliminary Development Plan).

21-3-1.18: DRIVE-THROUGH FACILITY:

A. This section shall apply to all principal uses that include a drive-through facility. Uses may include, but not be limited to, financial institutions, fast food restaurants, coffee shops, convenience stores, drug stores, and liquor stores.

1. Menu boards shall not be placed facing the primary street. In addition, every effort shall be made to avoid placing payment and/or pick-up windows adjacent to public streets. Payment and/or pick-up windows shall not face I-10, Main Street, Frontier Street, or Sunshine Blvd.
2. Drive-through aisles that face or are adjacent to public streets shall be screened from public view by a minimum three-foot (3') tall masonry wall that matches the primary structure or a landscape berm.
3. No drive-through aisles shall exit directly onto a public right-of-way.
4. Drive-through queuing length shall be approved in accordance with section 21-4-1 of this chapter.
5. Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access point to the facility that is located adjacent to a drive-through lane(s). Pedestrian crosswalks shall avoid crossing drive-through lanes. (Ord. 18-880, 7-23-2018)

FISCAL IMPACT:

There is not a fiscal impact associated with this discussion.

Project Narrative

For Conditional Use Permit

Drive-Thru Restaurant

Filiberto's Mexican Food

3910 W Shedd Rd - Eloy, AZ 85131

APN# 404020090

Description of Property & Project:

This CUP application is for an existing developed .38 Acre C-2 Zoned site with existing 1,400 +/- SF building previously used for commercial use. The Existing Structure will be converted and used as a Drive-Thru Restaurant as shown within the submitted Schematic Site Plan. The Site Plan submitted is to show in reference that the project conveys, with this specific Property and Structure as it sits existing today, easily with site modifications to meet parking, drive-thru, stacking and additional landscape areas/ landscape buffers between neighboring properties and Streets.

As a note of importance; the Same Owners have purchased and closed on the Neighboring Property (APN# 40410011A) on 7/12/2023. With and only after the CUP is approved for Drive-Thru Restaurant use for the subject property, the Owners intend to work with the City and continue the conversation to design the most ideal site with both properties in mind. Preliminarily, the discussions with the City have included, that once the CUP is approved, the two properties can be combined and lot split (with particular easements as needed) in such a way that the new driveway entry, parking, drive-thru entrance/ exit will be designed on the southern property (APN# 40410011A), which then would allow for the Outdoor Dining and much large landscape areas to be on the North-side. The improvement would also allow for better & safer circulation for the remaining area of the Southern property (APN# 40410011A) when developed in the future.

Narrative- Additional Points to Address:

- Discussion of Current/Proposed General Plan Designation: *As described above, the General Plan is not effected as the property is commercially zoned (C-2) in a High-Density Residential area and Drive-Thru is an allowable use with CUP approval.*
- Current/Proposed Zoning District: *As described above, the Current zoning, C-2, is to remain with no required changes needed with this Drive-Thru Restaurant use.*
- Proposed Use within the Zoning District: *As described above, the proposed use is Drive-Thru Restaurant within existing C-2 Zoning District.*
- How the proposed use complies with the goals and policies of the Eloy General Plan: *As described above, the proposed use of Drive-Thru Restaurant within existing C-2 Zoning District would comply with the goals and policies of the Eloy General Plan by providing a much needed food service option in the area while simultaneously following Eloy's aspirational visions of further development guided by the City's citizens and businesses.*



architecture all & associates

1211 W. Canary Way, Chandler, AZ. 85286
Cell: 602.620.1169 Email: iluba000@gmail.com



- Why the proposed site is suitable within the existing zoning district: *As described above, the proposed use is Drive-Thru Restaurant within existing C-2 Zoning District - which allows for Drive-Thru Restaurant use with CUP approval. Additionally, the proposed site shows that even as existing today, all major site requirements can be met including parking and stacking for this use. This however, after CUP approval, can and will be designed, in collaboration with Eloy Staff, in a much better fashion with the combination of using the neighboring property (as described) to further buffer vehicles from neighbors and streets while providing a much safer and more ideal circulation.*
- How will the proposed use impact surrounding uses and properties: *As described above, the proposed use is Drive-Thru Restaurant which should not negatively impact surrounding properties in any way. In fact the property has already long been used as commercial. With the new site development as described with the additional area of the Southern Parcel, the Drive-Thru/ Property can be actually create a more positive impact as it would divert the traffic off Shedd Rd and mitigate any vehicle on Giles St.*
- Steps that will be taken to minimize any potential or foreseen negative impacts to adjacent property owners: *As described above and shown on the schematic Site Plan, low screen walls and landscape buffers are designed into the project to provide the maximum separation and possible negative disturbance along neighboring properties fronting Giles St. The final approved Site, assuming CUP approval, will likely direct all traffic and drive-thru lanes on the South portion of the property practically eliminating those possible impacts from neighboring properties while providing a much more pleasing frontage, landscaping and outdoor dining space.*
- Design guidelines for the development : *As described above and shown within submitted schematic Site Plan.*

**Citizen Participation Plan Report
3910 W Shedd Rd, Eloy, AZ 85131
Filiberto's Mexican Food w/drive thru project**

Brief Description: The purpose of this Public Participation Plan Report is to inform citizens, property owners, neighborhood associations, agencies, schools and businesses near the 0.38 -acre project site regarding the opening of a Filiberto's Mexican Fast Food Restaurant with a drive-thru and covered Patio area in the upcoming few months.

This Public Participation Plan ensured that those affected by this application have an adequate opportunity to learn about and comment on the proposal. We used these outreach and meeting opportunities to engage and inform neighbors, property owners and members of the public of the benefits this business can bring to the community and to address any concerns.

Notification Letter: Attached

The format of the neighborhood meeting was an open house style meeting where those we reached out could show up receive information on our project. This format allowed those who showed up to ask questions regarding the opening of Filiberto's Mexican Fast Food Restaurant. The meeting area was made open on October 3rd, 2023 at 6:00 PM. We only had one person showed up. Angie Hernandez, a citizen of the area and neighbor to our property came and requested information. Her questions included which side of the parcel the drive-thru would be located in and was also concerned as to if there would be any loud music. We showed her where the drive-thru was going to be and informed her that while we might have music in our premises it wouldn't be any louder than background (soft) levels as this is not a nightclub nor a bar so loud music is definitely not part of our project.

- Notification Area Map – (Attached) Property Owners within 300 ft.
- Date of Notice Sent – September 20th, 2023
- Neighborhood Meeting Held: October 3rd, 2023

Neighborhood Meeting Held – May 17, 2023 at 6 PM at Toltec Community Center

Status Results: The only person who showed up stayed for the better part of our meeting and did not have any concerns after the information was given to her.

September 20, 2023

RE: A Conditional Use Permit Application has been submitted to the City of Eloy for a proposed drive-thru for Filiberto's Mexican Food, to be located at 3910 W Shedd Road, - Eloy, AZ 85131

Pinal County Assessor's Parcel Numbers: APN# 404020090 and a portion of 40410011A

Dear Property Owner:

The purpose of this letter is to inform you that **Filiberto's Mexican Food** will be opening a new restaurant in the Toltec Vicinity and has filed for a conditional use permit to allow us the use of a drive-thru for the convenience of customers. The restaurant is a permitted use and is to be located at 3910 W Shedd Road - Eloy, AZ 85131. This property is approximately .38 Acres (Parcel# 404020090), zoned C-2, Community Commercial which includes an existing 1,400 +/- square foot building previously used for commercial purposes for a Water and Ice business. The intent of this project is to remodel and use the existing structure and add a drive-thru restaurant use, while incorporating a 0.50-acre portion of the neighboring parcel (APN # 0410011A) to help minimize any negative impact, including vehicular traffic to surrounding properties. With the portion of the additional parcel mentioned, the site can be designed to meet/ exceed parking requirements, drive-thru stacking requirements, provide additional landscape areas/ landscape buffers between neighboring properties, and create safer vehicular circulations on the new driveway/ drive aisles in an effort to diverting traffic off Shedd Rd early and buffering any vehicles approaching Giles Street (Attached is a Conceptual Plan).

We would like to invite you to a Neighborhood Meeting to discuss the Conditional Use Permit application process and this specific proposed development. A Neighborhood Meeting will be held on:

October 3rd, 2023 from 6:00 – 7:00 pm
Toltec Community Center
100 E 7th St
Eloy, Arizona 85131

You are invited to attend this meeting to learn about the project and proposed Conditional Use. If you are unable to attend, please contact me at silvarealtyaz@gmail.com or 480-295-0653 to learn more about the case and provide your input. The City of Eloy Planner assigned to this case is Belinda Cota, and she can be reached at bcota@eloyaz.gov or 520-466-2578. Ms. Cota can answer your questions regarding the City review and hearing processes. You may submit comments on this application in writing to the City of Eloy, Community Development Department, 595 N. C Street, Suite 102, Eloy, AZ 85131. Please reference the case number CUP2023-038, and your letter will be made part of the case files.

Please be advised that hearings before the Eloy Planning and Zoning Commission and City Council are planned to review this case. Specific hearing dates have not yet been set. You should receive a subsequent notice from the City of Eloy identifying the date and location of these future hearings when they have been scheduled.

Again, I would be happy to answer any questions or hear any concerns that you may have regarding this proposal, and hope to see you at the Neighborhood Meeting.

Sincerely,

Your Neighbor,

Maria Silva

480-295-0653 | silvarealtyaz@gmail.com

FOR: CONDITIONAL USE PERMIT APPLICATION

ARCHITECTURAL SCHEMATIC SITE PLAN

SCALE 1" = 20'-0"

N

0 20 40

APN: 40410011A
FUTURE DEVELOPMENT

APN: 40410037A
NOT A PART OF THIS DEV

APN: 40410037B
NOT A PART OF THIS DEV

CUP APPLICATION SHEET INDEX	
A-1	ARCH SCHEMATIC SITE PLAN, PROJECT DATA, PROJECT SCOPE & VICINITY MAP
A-2	CONCEPTUAL ELEVATIONS, COLOR ELEVATIONS & MATERIAL, COLOR BOARD
A-3	REFUSE AREA DETAIL, WALL DETAIL, LOW SCREEN WALL DETAIL, BINE RACK DETAIL & SITE LIGHTING
L-1	CONCEPTUAL LANDSCAPE PLANTING PLAN

DISCLAIMER: ARCHITECTURE ALL & ASSOCIATES HAS PREPARED THIS SITE PLAN BY USING THE PROPERTY LINES BASED ON COUNTY GIS MAPPING SERVICES, COUNTY TAX RECORDS & CURRENT AERIAL IMAGES. THE INTENT OF THIS PLAN IS TO PROVIDE AS ACCURATE OF INFORMATION FOR THE PURPOSE OF PRE-APPLICATION SITE PLAN SUBMITTAL. IT IS NOT TO BE CONSIDERED LEGALLY BINDING FOR PROPERTY DIMENSIONS, BEARINGS, ACTUAL BUILDING LOCATION FROM PROPERTY LINES AND ANY SPECIAL CONDITIONS. AS SUCH ARCHITECT IS NOT LIABLE FOR THE INFORMATION THAT MAY BE NONCOMPLIANCE OF THE CODE UNLESS APPROVED BY THE CITY BASED ON THIS DISCLAIMER.

PROJECT DATA

GENERAL

PROJECT ADDRESS..... 3910 W. SHEDD RD
ELOY, AZ 85131
OWNER SILVA MARIA A
PO BOX 1606
MESA, AZ 85211
PH: 480-295-0653
ZONING C-2
PROPERTY USE RESTAURANT (DRIVE-THRU)
OCCUPANCY B or A-2 (RESTAURANT)
CONSTRUCTION TYPE..... TYPE V-B
MAX HEIGHT ALLOWED..... 35'-0"
MAX HEIGHT PROVIDED..... EXISTING < 35'-0"
SETBACKS REQUIRED..... FRONT 20'
NOTE: STREET FACING PARKING MIN 15'-0"
SIDE 15'
STREET SIDE 10'
REAR 20'
SETBACKS PROVIDED..... SEE SITE PLAN
NOTE: BUILDING & SETBACKS EXISTING
FIRE SPRINKLER..... AS REQUIRED

AREA CALCULATION

APN: 404020090 16,552 SF ± (.38 AC) (PER COUNTY REC)
PLUS USE A PORTION OF ADJACENT LOT - SAME OWNER
APN: 40410011A 21,700 SF ± (.50 AC)
TOTAL LOT AREA: 38,252 SF ± (.88 AC)

EXISTING BUILDING AREA

EXISTING FLOOR AREA 1,400 SF ±
(PER COUNTY REC)
NEW OUTDOOR DINING AREA 1,200 SF ±
TOTAL LOT COVERAGE: 6.8 %
(2,600 ± / 38,252 ±)
MAX LOT COVERAGE ALLOWED: 60.0 %

PARKING CALCULATION

BASED ON 21-4-1.4 T4.1-1 (NUMBER OF PARKING SPACES REQUIRED)
RESTAURANTS REQUIRE: 3 SPACE/ 120 SF GFA
+1 SPACE PER 400 SF OUTDOOR DINING
EXISTING BUILDING
1,400 SF ± GFA @ 120 SF: 12 SPACES
NEW OUTDOOR DINING
1,200 SF ± GFA @ 400 SF: 3 SPACES
TOTAL PARKING REQUIRED: 15 SPACES
TOTAL PARKING PROVIDED: 26 SPACES
(INC 2 ADA + 4 BICYCLE SPACES)

STACKING CALCULATION

BASED ON 21-4-1.12 T4.1-6 (VEHICLE STACKING REQUIREMENTS)
RESTAURANTS REQUIRE: 3 BEHIND MENUS BOARD
3 BEHIND WINDOW
QUEUE/ STACKING PROVIDED:
DT WINDOW TO MENU (60'-0") 3 VEHICLES
DT MENU TO DT ENTRY (60'-0") 3 VEHICLES

LANDSCAPE CALC FOR REFERENCE

NOTE: NEW LANDSCAPE HAS BEEN PROVIDED THROUGH THE LOT TO MAXIMIZE GENERAL LANDSCAPE AREAS. THIS INCLUDES LANDSCAPING AT FRONTAGE, PARKING ISLANDS/ ENDS, DRIVES AND LOW 36" SCREEN WALL AT OUTDOOR DINING AREA - REFER TO LANDSCAPE PLANS FOR MORE INFORMATION
TOTAL AREA OF LANDSCAPE : 17,350 SF ±
TOTAL LS COVERAGE : (17,350 ± / 38,252 ±) 45.4%

LEGAL DESCRIPTION

LOT 9 IN BLK A TOLTEC/ARIZONA VALLEY UNIT 1 BK 10 PG 51 SEC 22-07S-07E & 50' X 130.5' ABAND R/W ADJ OF S (APPROX 24,000. SQ FT) 0.55 AC + OR -
AND A PORTION OF:
COM @ NW COR SEC 27-7S-7E TH E-185.82 TO POB TH CONT E-6.87 TH N 25D E-278.22 TH S 49D E-352.26 TH E-107.88 TH S 36D W-170.07 TH N 49D W-199.98 TH S-40D W-165.83 TH N 53D W-224.64 TO POB (LOTS 1 & BLK A TOLTEC AZ VALLEY UNIT 7 & ADJ ABD R/W N-25 & PART LO
TWN: 07S
RNG: 07E
APN : 404020090 AND PORTION OF 40410011A

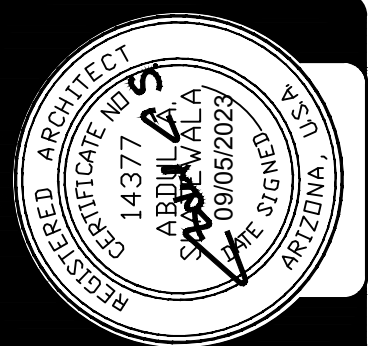
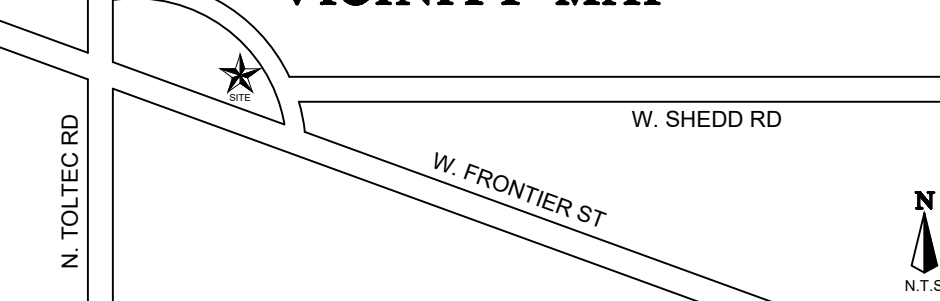
PROJECT SCOPE AND NARRATIVE

- THIS IS FOR A DEVELOPED COMMERCIAL C-2 ZONED PROPERTY WITH EXISTING BUILDING STRUCTURE TO BE CONVERTED AND USED AS A DRIVE-THRU RESTAURANT AS SHOWN.
- THE SITE WILL USE A PORTION OF THE NEIGHBORING PROPERTY (SAME OWNER) TO CREATE A NEW MAIN DRIVE/ ENTRY WITH NEW DRIVE-THRU LANE, PARKING AREAS & LANDSCAPE AREAS AS SHOWN. THE SITE IS DESIGNED TO CONNECT TO FUTURE DEVELOPMENT ON NEIGHBORING PROPERTY DESCRIBED, WHICH ALSO WOULD EVENTUALLY CONNECT TO FRONTIER ST.

ADA NOTES

ALL ACCESSIBLE ROUTES & RAMPS TO MEET THE FOLLOWING REQUIREMENTS:
CROSS SLOPE: 1:50 (2%) LONGITUDINAL SLOPE: 1:12 (8.33%)
PARKING SPACE AND ACCESS AISLES: 1:50 (2%) IN ALL DIRECTIONS

VICINITY MAP



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DRIVE-THRU RESTAURANT
FOR EXISTING COMMERCIAL BUILDING ZONED C-2
3910 W SHEDD RD ELOY, AZ 85131
APN #404020090 (AND A PORTION OF #40410011A)

ARCHITECTURE ALL & ASSOCIATES, INC.
1211 WEST CANARY WAY - CHANDLER - AZ - 85286
MOBILE- (602) 620-1169 E MAIL: ILUBA000@GMAIL.COM

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DRAWN BY: SAS JOB#

CHECKED BY: ABDUL DATE

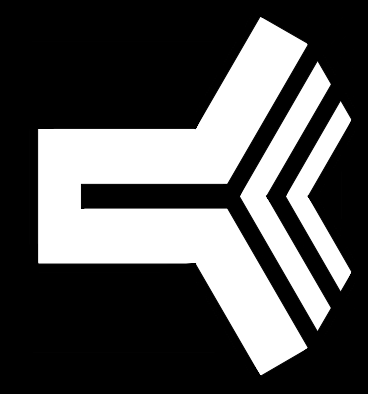
09/05/2023 CUP APPLICATION

SHEET

OF

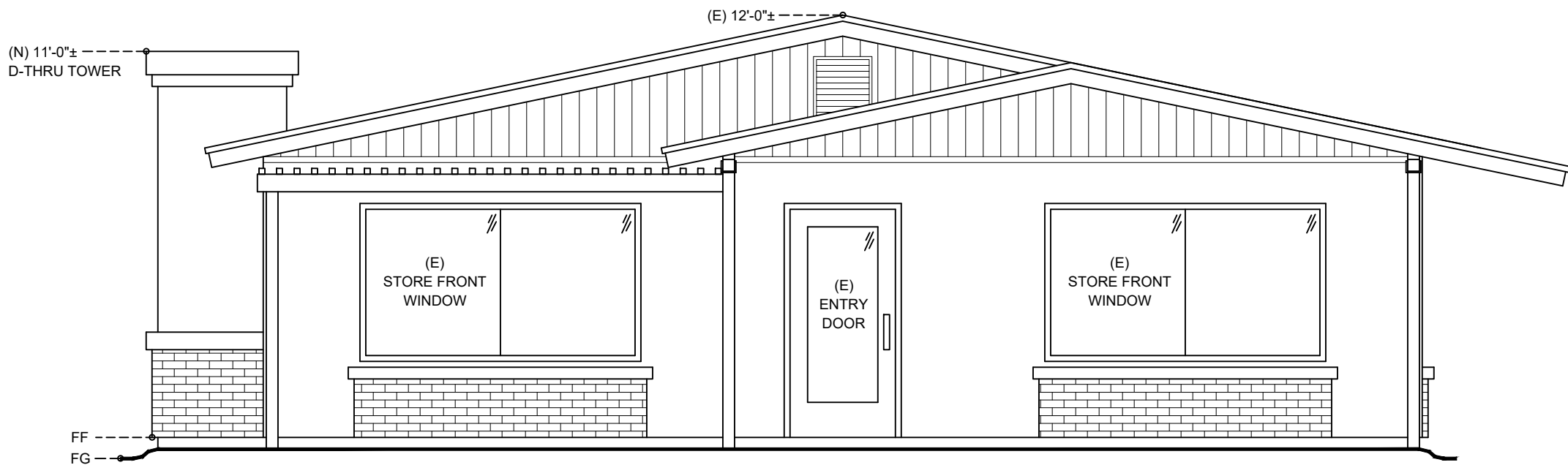
A-1

A-3

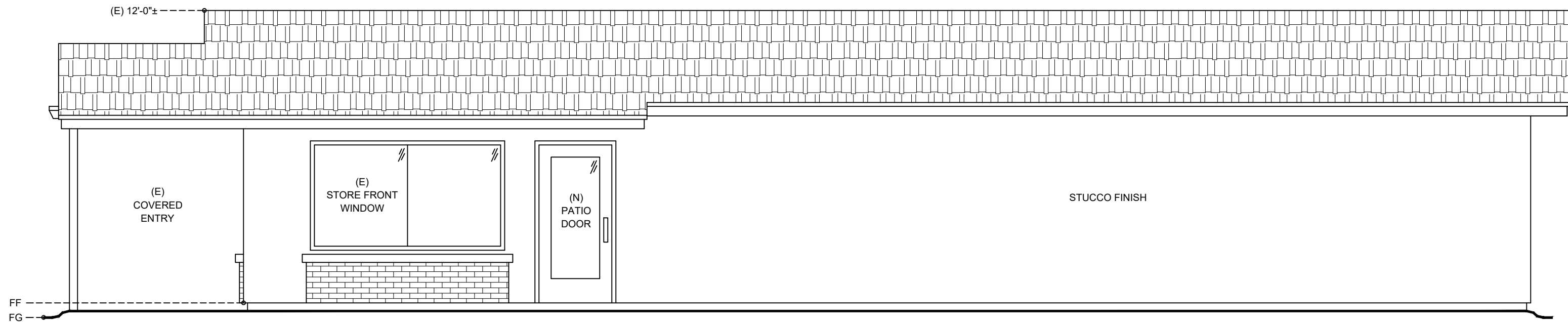


FOR: CONDITIONAL USE PERMIT APPLICATION

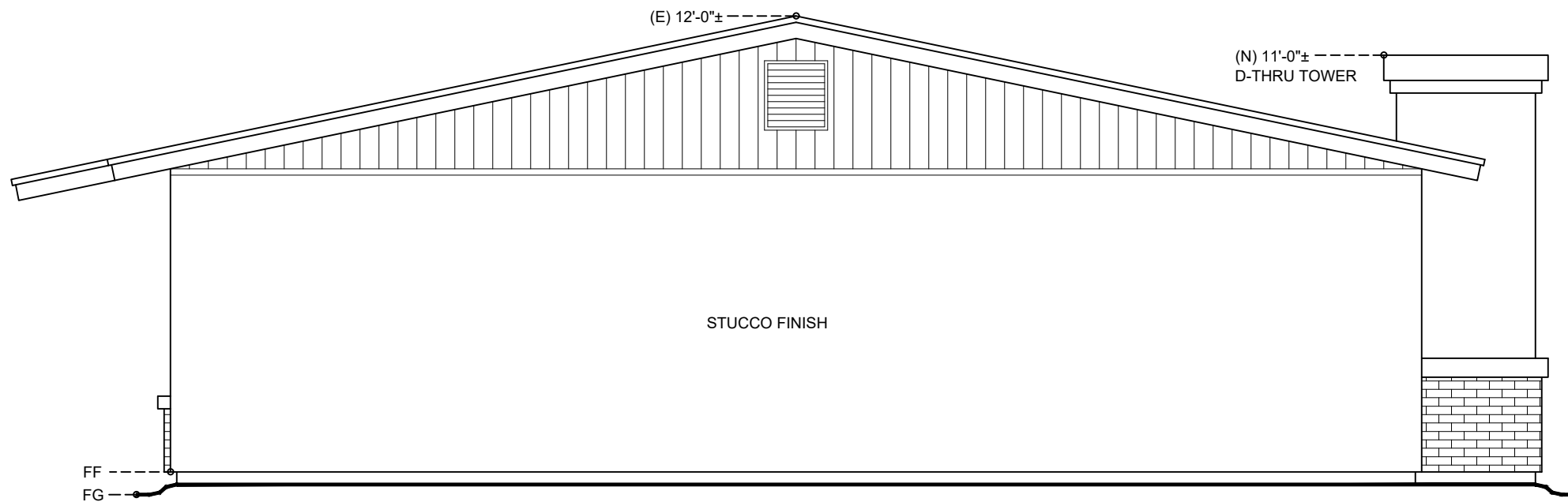
CONCEPTUAL ELEVATIONS
SCALE 1/4" = 1'-0"



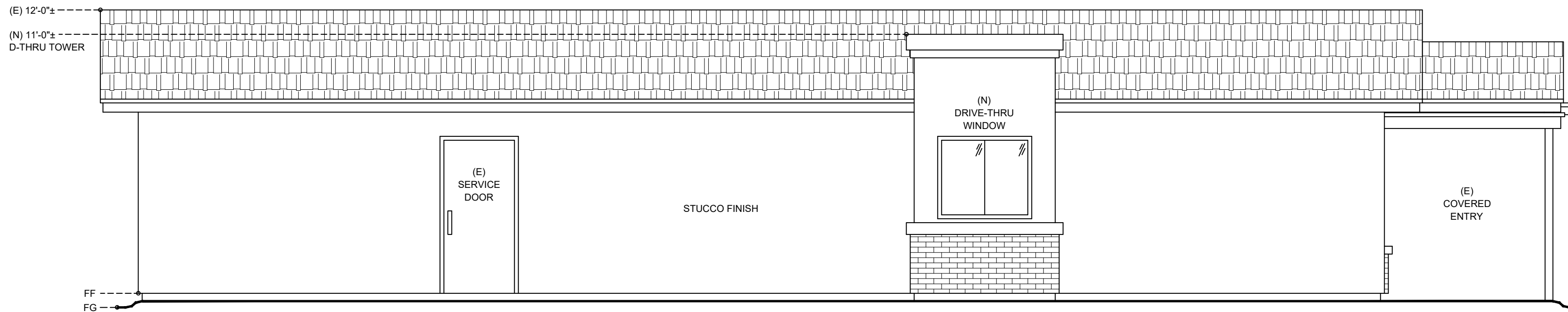
CONCEPTUAL EAST ELEVATIONS
FRONT - MAIN ENTRY



CONCEPTUAL NORTH ELEVATIONS
SIDE - OUTDOOR PATIO



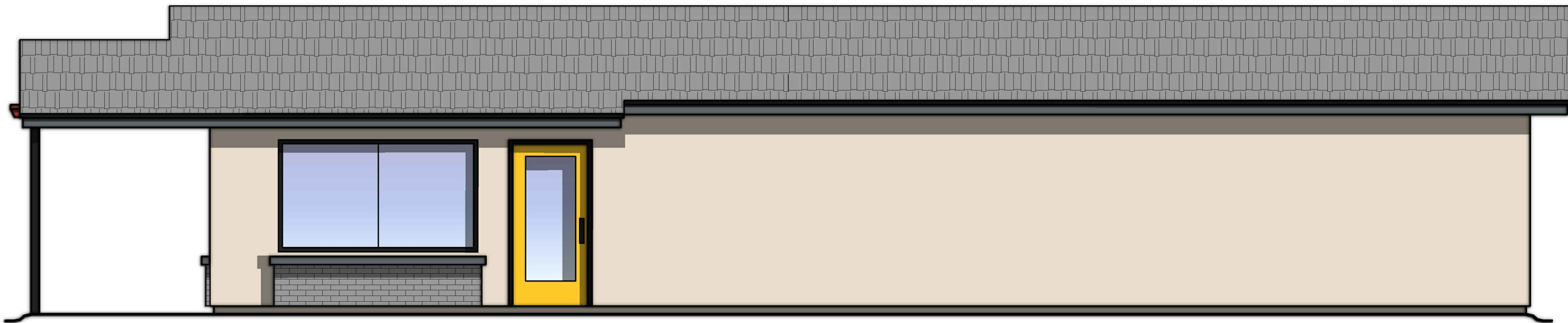
CONCEPTUAL WEST ELEVATIONS
REAR



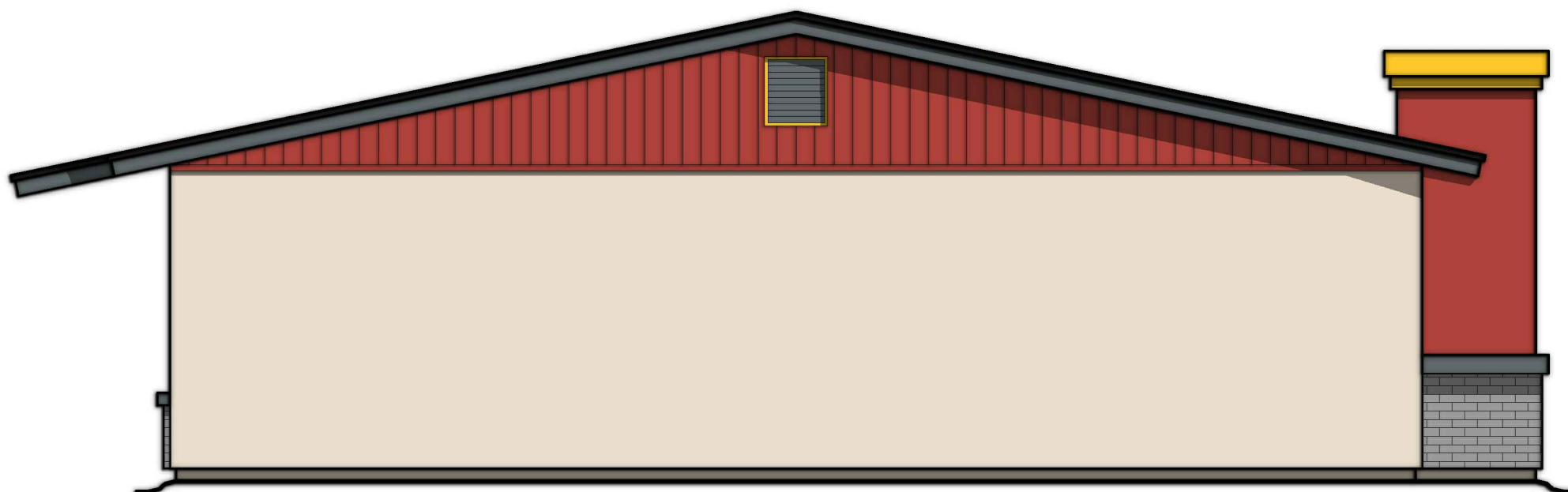
CONCEPTUAL SOUTH ELEVATIONS
SIDE - DRIVE THRU



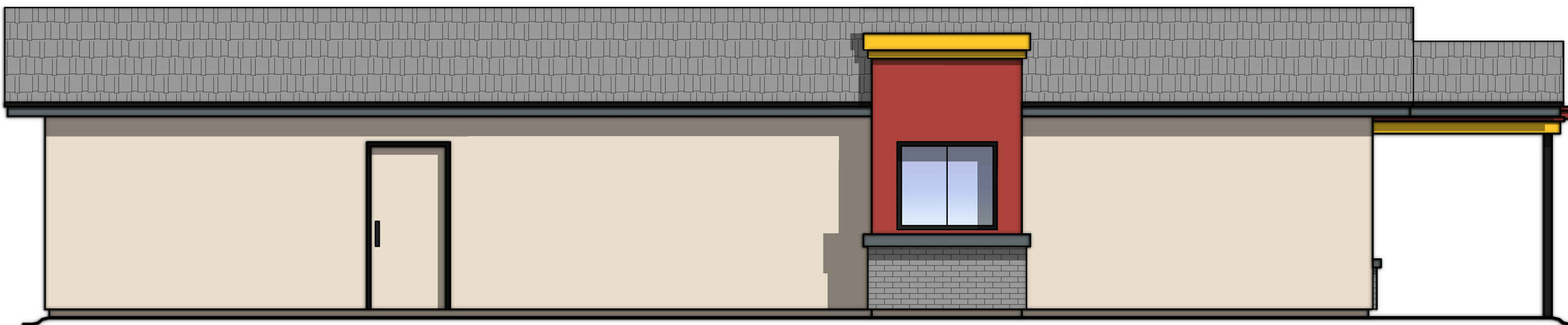
CONCEPTUAL EAST ELEVATIONS
COLOR ELEVATION: FRONT - MAIN ENTRY



CONCEPTUAL NORTH ELEVATIONS
COLOR ELEVATION: SIDE - OUTDOOR PATIO



CONCEPTUAL WEST ELEVATIONS
COLOR ELEVATION: REAR



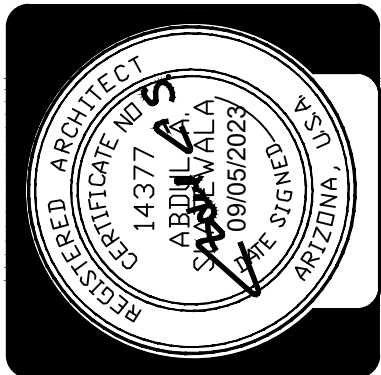
CONCEPTUAL SOUTH ELEVATIONS
COLOR ELEVATION: SIDE - DRIVE THRU



CONCEPTUAL COLOR BOARD

NOTE

- EXACT MATERIALS AND GENERAL COLOR SCHEME SHOWN HEREWITH IS SUGGESTED AND MAY SLIGHTLY CHANGE DURING CONSTRUCTION. THE OVER-ALL CONCEPT, INCLUDING COLOR PALETTE ARE TO REMAIN IN THE SAME GENERAL DESIGN STYLE AND TO MATCH FRANCHISE COLORS AND AS APPROVED BY THE CITY.
- CONTRACTOR TO CONFIRM COLORS AND MATERIALS WITH OWNER PRIOR TO PURCHASE OR INSTALLATION.
- COLOR REFLECTIVITY NOT TO EXCEED 20%.



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DRIVE-THRU RESTAURANT
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CHECKED BY: ABDUL DATE

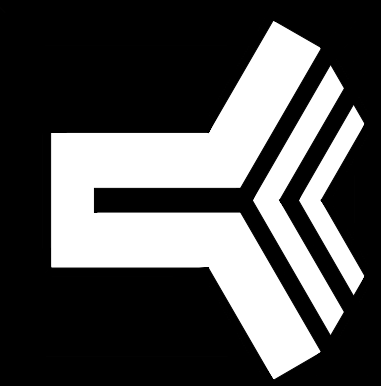
09/05/2023 CUP APPLICATION

SHEET

A-2

OF

A-3



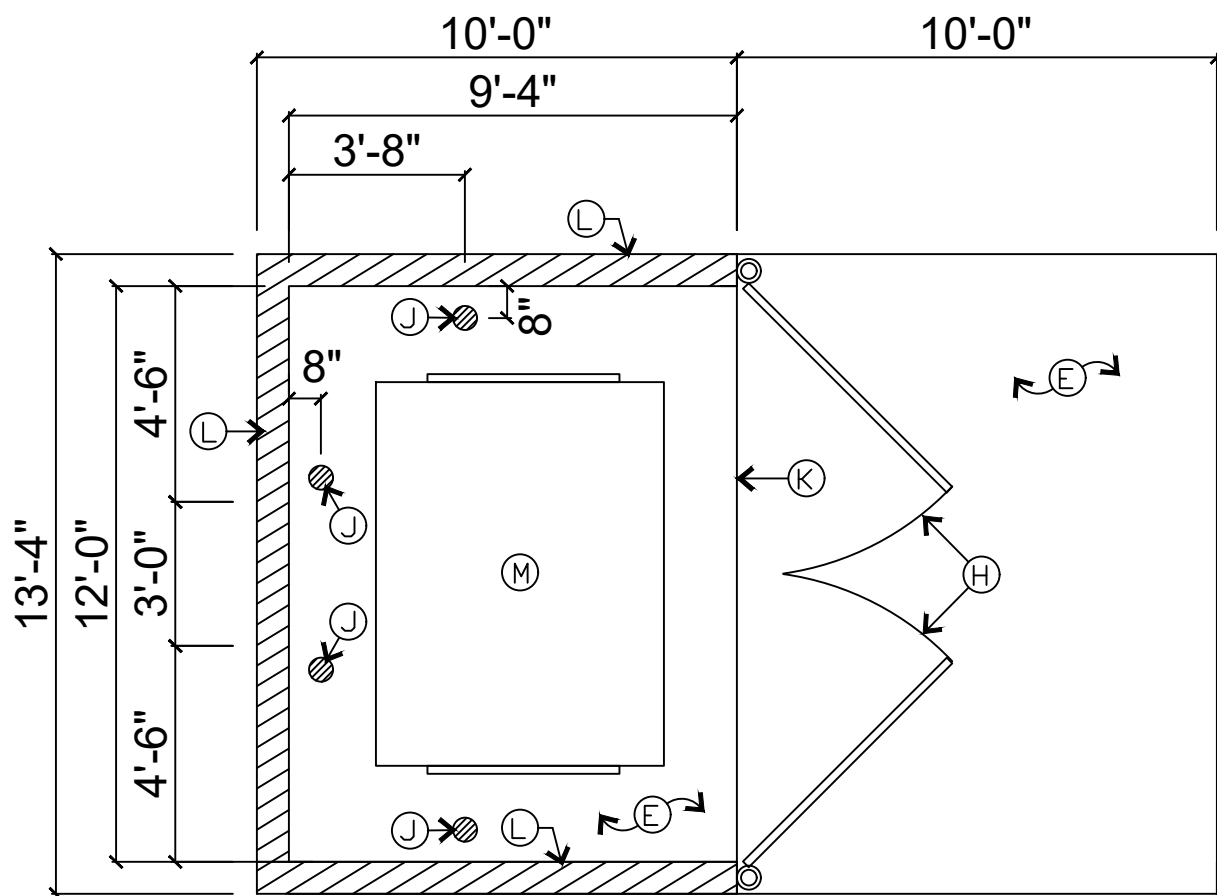
FOR: CONDITIONAL USE PERMIT APPLICATION

ADDITIONAL SITE DETAILS
SCALE NOTED

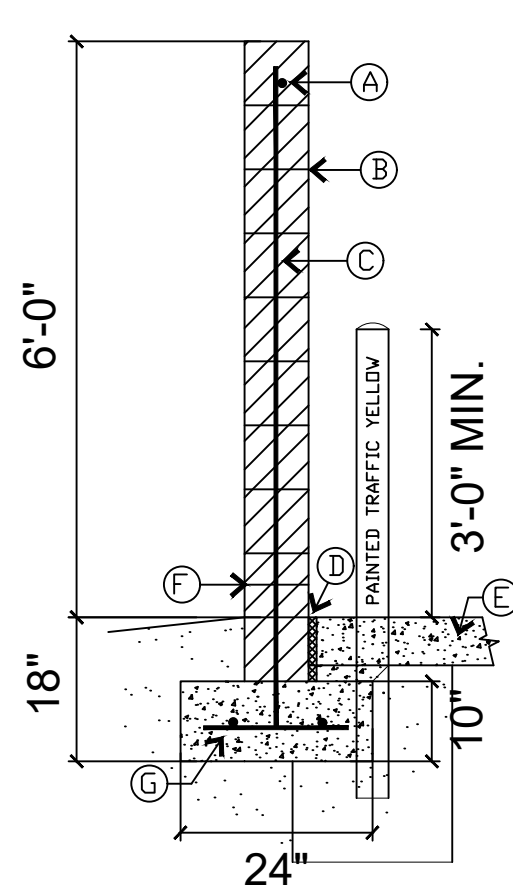
ENCLOSURE & DETAIL LEGEND

- (A) #4 BAR CONT. BOND BM
- (B) 8"x8"x16" CMU
- (C) #4 BARS @ 8" (GROUT CELLS SOLID FULL HT)
- (D) EXPANSION FILLER
- (E) 6" THICK CONC. SLAB
- (F) PROVIDE 4" OPENING AT LOW POINT WHERE SLOPES BACK TO BIN RECEIPT SPACES @ 10'-0" O.C.
- (G) 2-#4 BARS CONT.
- (H) HINGE SWING ENCLOSURE GATE
- (I) 3'-0" PEDESTRIAN HINGE SWING GATE
- (J) 4" SAFETY POSTS
- (K) EXPANSION JOINT
- (L) 6" CMU WALL (REFER TO REFUSE ENCL. WALL DTL)
- (M) REFUSE BIN

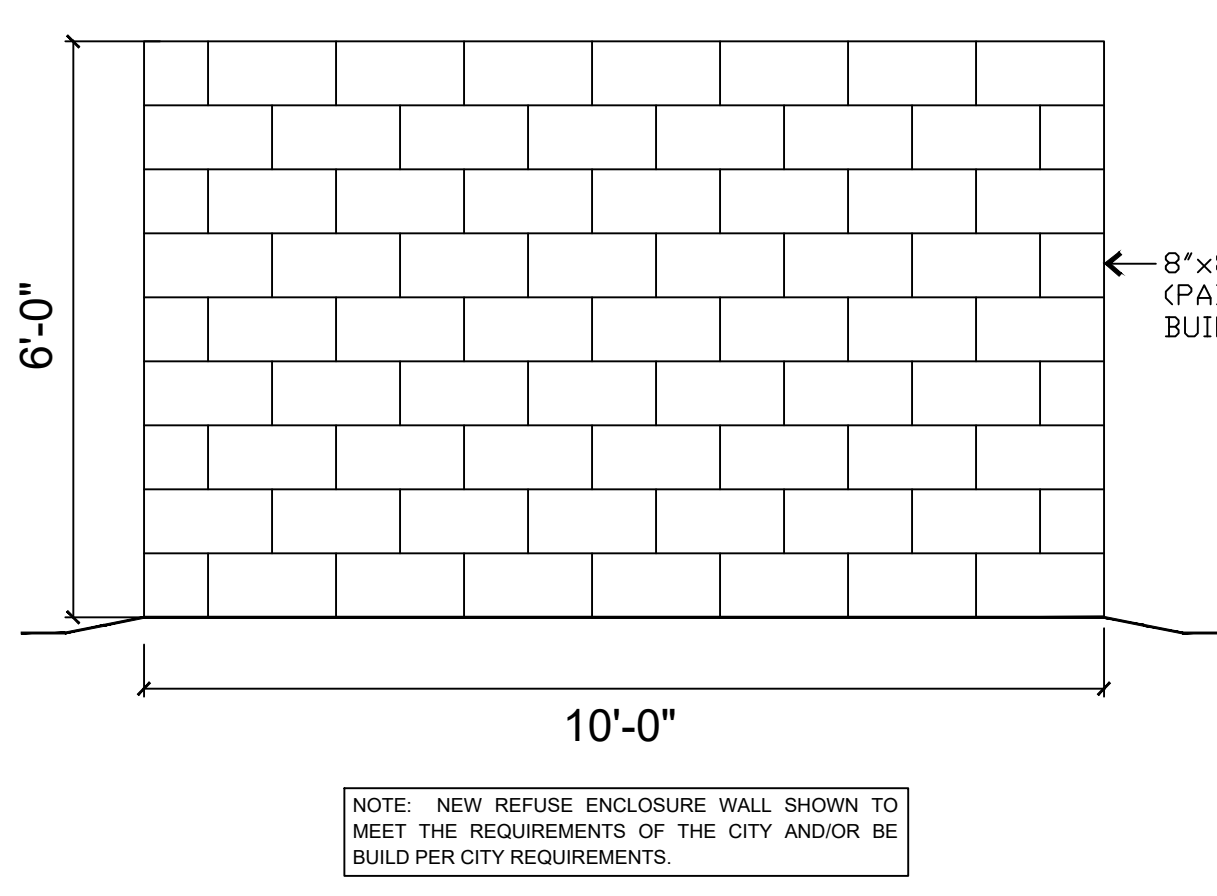
NOTE: MATCH COLOR AS PER APPROVED CUP COLOR ELEVATION



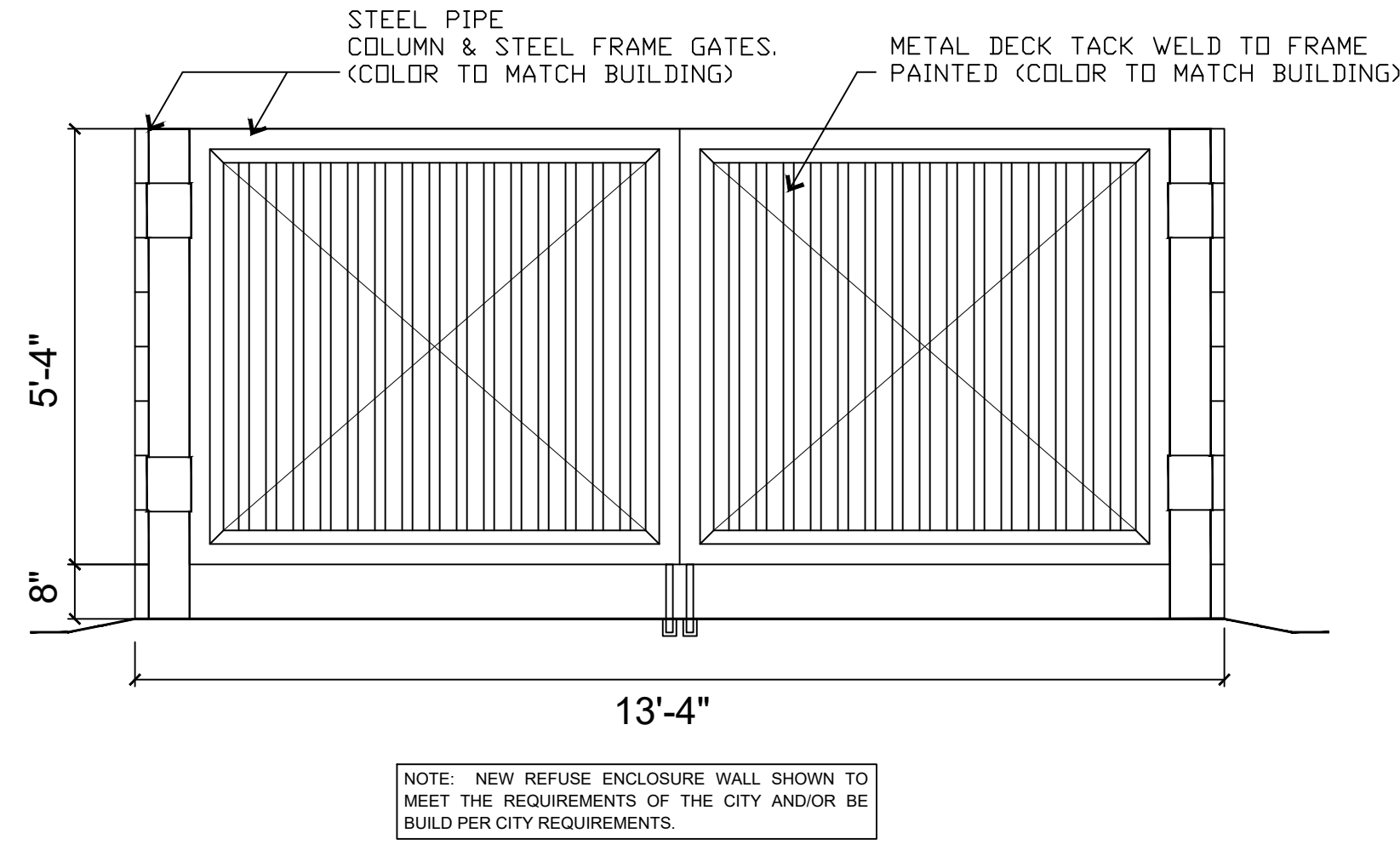
NOTED PLAN
SCALE 1/4" = 1'-0"



WALL DETAIL
SCALE 1/2" = 1'-0"



REFUSE WALL ELEVATION
SCALE 1/2" = 1'-0"



REFUSE GATE ELEVATION
SCALE 1/2" = 1'-0"

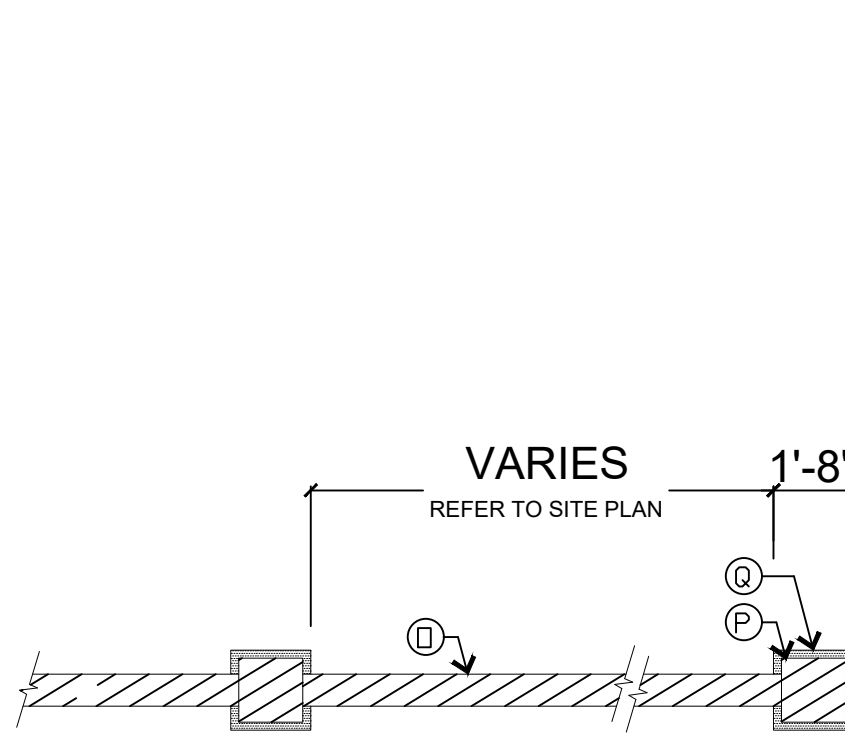
REFUSE ENCLOSURE & DETAIL

REFUSE ENCLOSURE NOTED ELEVATIONS

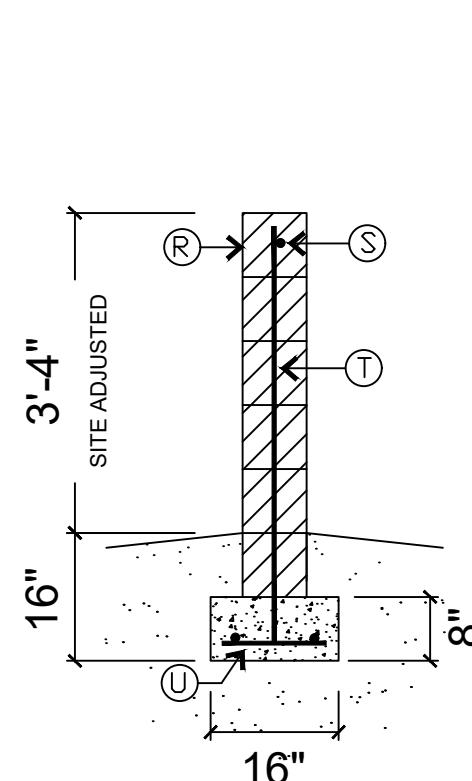
LOW WALL & DETAIL LEGEND

- (N) EXISTING LOW WALL & PIERS TO CONNECT TO AND MATCH
- (O) 3'-4"H CMU WALL (REFER TO LOW WALL DTL)
- (P) 4'-0"H CMU PIER (REFER TO LOW PIER DTL)
- (Q) STONE VENEER ATTACHED TO LOW PIER (REFER TO LOW PIER DTL)
- (R) CMU TOP COURSE BLOCK TO MATCH
- (S) #4 BAR CONT. BOND BM
- (T) #4 BARS @ EA END, @ CORNERS & @ 10'-4" O.C. (GROUT CELLS SOLID FULL HT)
- (U) 2-#4 BARS CONT.
- (V) COLUMN CAP TO MATCH EXISTING
- (W) #4 BAR BEND INTO SQ BOND BM
- (X) #4 BARS @ EA CORNER (GROUT CELLS SOLID FULL HT)
- (Y) STONE VENEER ATTACHED TO CMU BLOCK PIERS TO MATCH EXISTING
- (Z) #4 BARS BEND INTO SQ @ FOOTING

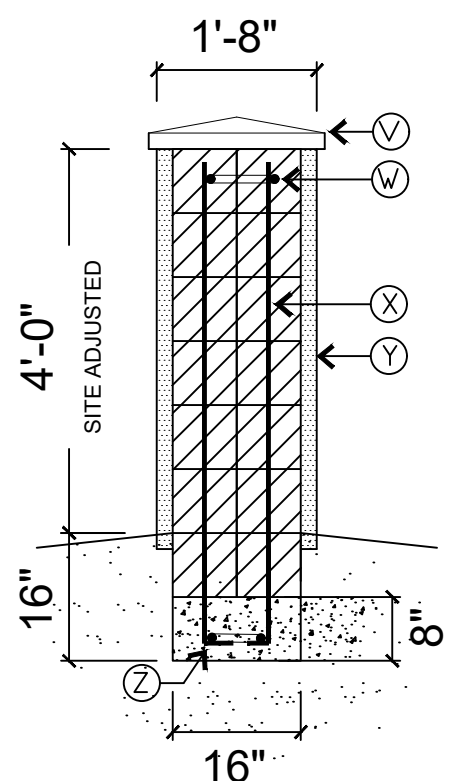
NOTE: MATCH COLOR AS PER APPROVED CUP COLOR ELEVATION



NOTED PLAN
SCALE 1/4" = 1'-0"

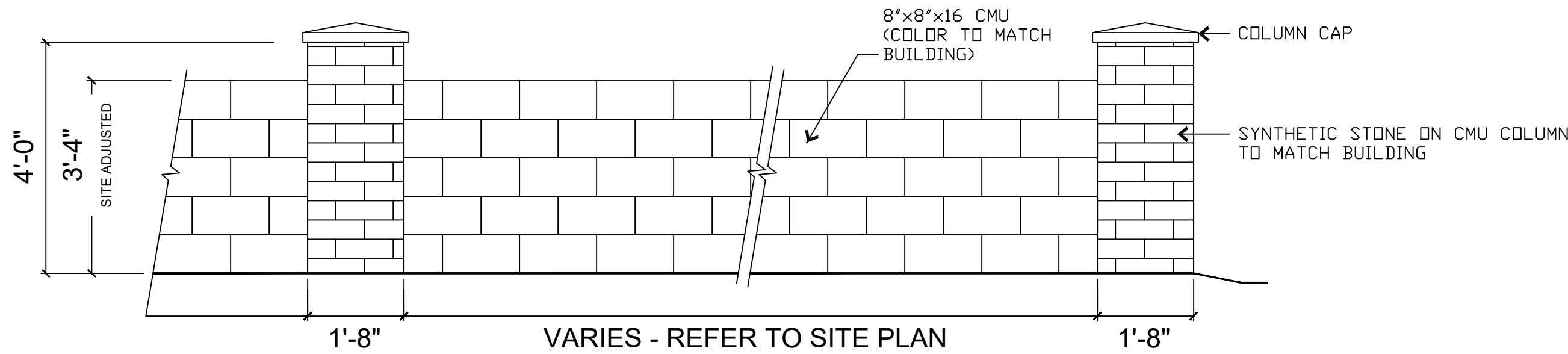


LOW WALL DETAIL
SCALE 1/2" = 1'-0"



LOW PIER DETAIL
SCALE 1/2" = 1'-0"

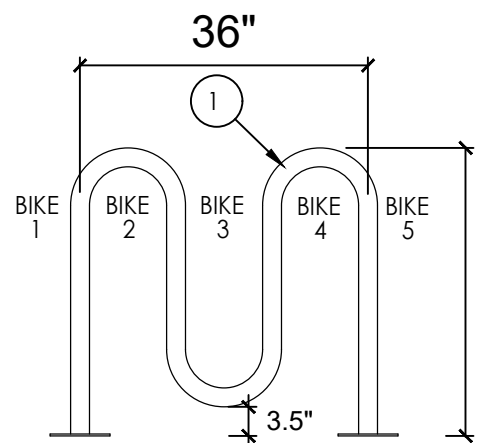
LOW SCREEN WALL & DETAIL



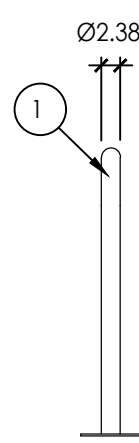
LOW SCREEN WALL NOTED ELEVATION

BIKE RACK & DETAIL LEGEND

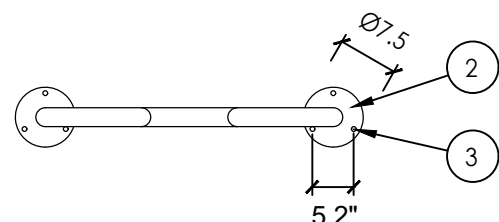
- (1) TUBING - Ø2-3/8" x 154" WALL STEEL TUBING
- (2) SURFACE PLATE - Ø7-1/2" x 1/4" THICK STEEL PLATE WITH (3) Ø9/16" MOUNTING HOLES
- (3) MOUNTED WITH (6) TOTAL Ø1/2" x 4-5" STAINLESS STEEL ANCHOR BOLTS



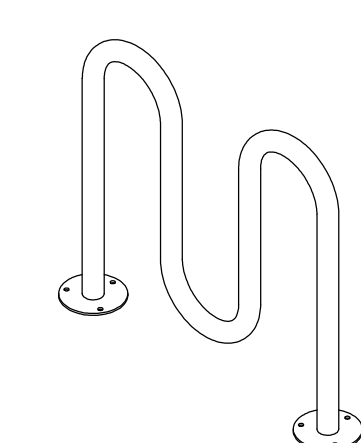
FRONT VIEW
SCALE 1/2" = 1'-0"



SIDE VIEW
SCALE 1/2" = 1'-0"

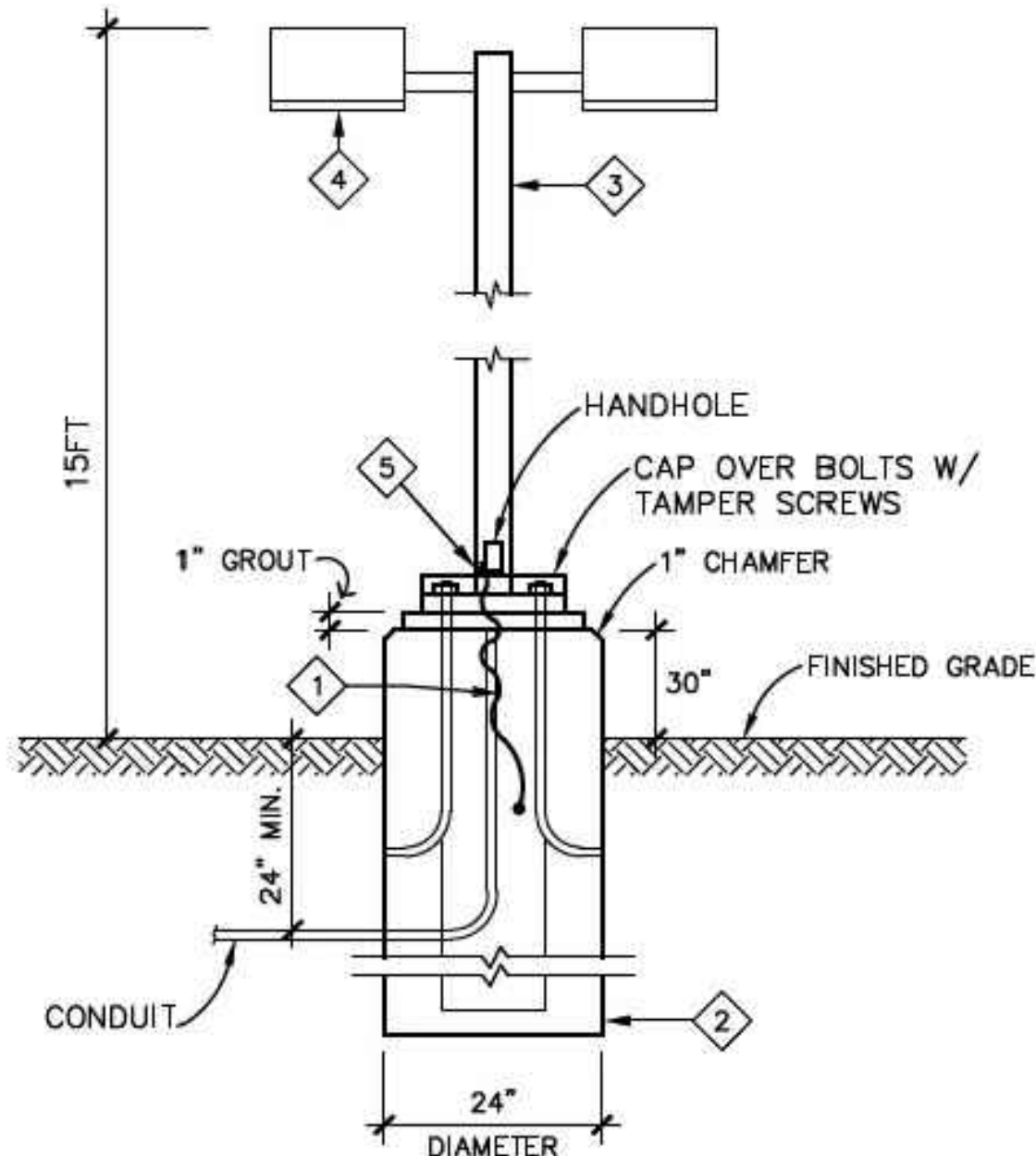


TOP VIEW
SCALE 1/2" = 1'-0"



SCHEMATIC 3-D ELEV
FOR REFERENCE ONLY

BIKE RACK DESIGN & DETAIL



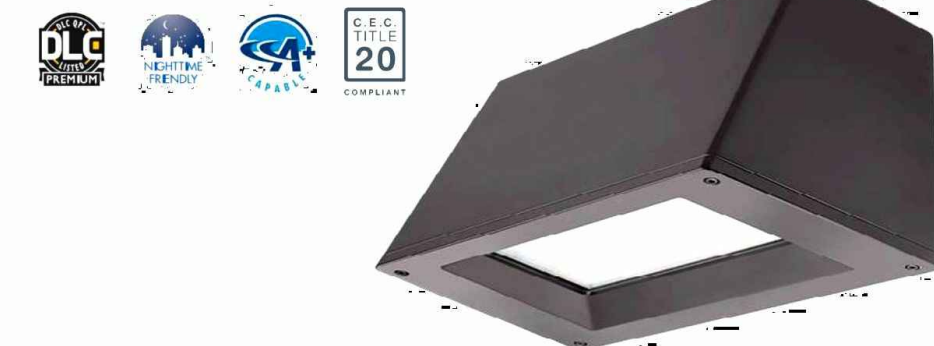
LIGHT POLE AND FIXTURE

NOTE: CONTRACTOR SHALL PROVIDE NEW POLE BASES WHERE INDICATED ON PLANS. LIGHTING FIXTURE POLE DETAILS AND DESCRIPTIONS ARE FOR ELECTRICAL REFERENCES ONLY. THE POLE AND BASE SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF ARIZONA AND BE STAMPED AND SEALED ACCORDINGLY AS A DEFERRED SUBMITTAL.

KEYED NOTES :

- #4 BARE CU. CONDUCTOR, 20'-0" LONG, COILED CONTINUOUS WITHIN THE LIGHT POLE BASE AND BONDED TO REBAR. NOTE: WIRE MAY BE COILED AT THE BASE OF HOLE.
- CONCRETE BASE SEE STRUCTURAL DRAWINGS.
- 4" SQUARE TO MATCH FIXTURE (100mph RATED)
- SEE FIXTURE SCHEDULE FOR TYPE.
- PROVIDE (2) LUG TERMINAL ATTACHED TO GROUND STUD.

WST LED
Architectural Wall Sconce



Ordering Information

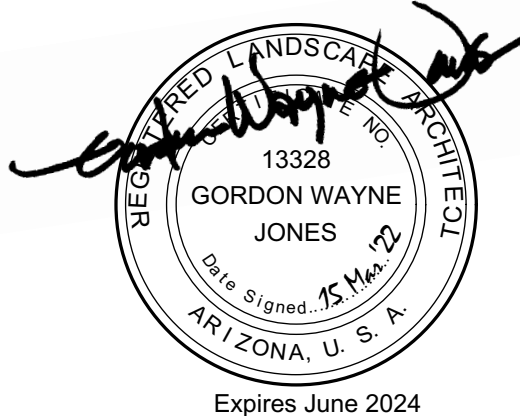
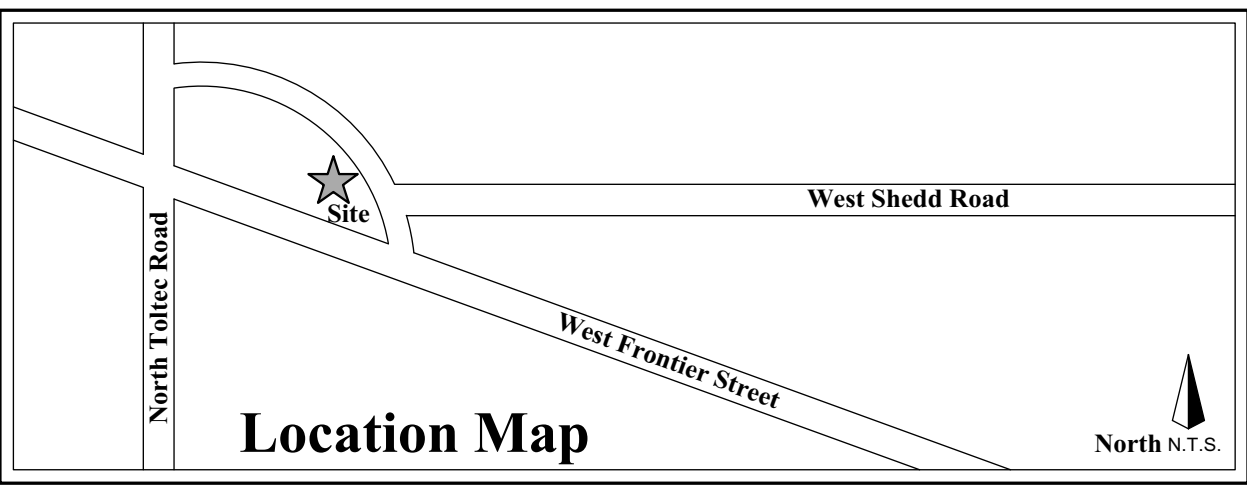
EXAMPLE: WST LED P1 40K VF MVOLT DDBTXD

WST LED					
Series	Performance Package	Color temperature	Distribution	Voltage	Mounting
WST LED	P1 1,500 Lumen package	27K 2700 K	VF Visual comfort forward throw	MVOLT	Shipped included
	P2 3,000 Lumen package	30K 3000 K	VW Visual comfort wide	120 ²	(blank) Surface mounting bracket
	P3 6,000 Lumen package	40K 4000 K		208 ²	Shipped separately
		50K 5000 K		240 ²	BBW Surface-mounted back box ³
					PBBW Premium surface-mounted back box ^{3,4}

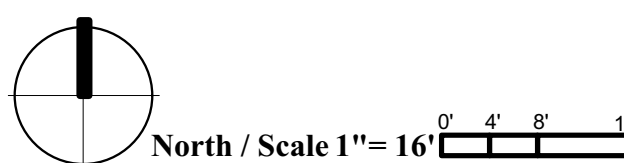


Proposed Plantings

	TREES (all Low Water Use and Desert Adapted) CAESALPINIA MEXICANA (multi-trunk - select for high canopy)	Evergreen Bird-of-Paradise	QUANTITY 4	SIZE 15 gallon
	PARKINSONIA PRAECOX (multi-trunk - select for high canopy)	Sonoran Palo Verde	8	15 gallon
	PROSOPIS ALBA 'Phoenix' (multi-trunk - select for high canopy)	Phoenix Hybrid Mesquite	7	24" box
	LARGER BACKGROUND SHRUBS CAESALPINIA PULCHERRIMA	Mexican Bird-of-Paradise	14	5 gallon
	CORDIA PARVIFOLIA	Little Leaf Cordia	23	5 gallon
	LEUCOPHYLLUM R. 'Lynn's Legacy'	Lynn's Legacy Texas Sage	23	5 gallon
	SMALLER FREE BLOOMING SHRUBS RUSSELLIA EQUISETIFORMIS	Coral Fountain	11	5 gallon
	TECOMA S. 'Bells of Fire'	Bells of Fire Tecoma	43	5 gallon
	TECOMA S. 'Lydia'	Tecoma Lydia	29	5 gallon
	SMALL SHRUBLETS under TREES EREMOPHILA HYGROPHANA 'Blue Bells'	Eremophila Blue Bells	18	1 gallon
	CRUSHED GRANITE 2" Deep Covering	1/2" screened Arizona Beige	---	26,050 s.f.



Gordon Wayne Jones
LANDSCAPE ARCHITECT
1711 East Missouri Suite 7
Phoenix Arizona 85016
602-374-4611
gwj-la@cox.net



Conceptual Planting Plan
Drive-thru Restaurant (for Existing Commercial Building Zoned C-2) **L1**

APN #404020090 (and Portion of #40410011A)
3910 West Shedd Road
Eloy, AZ 85131

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VIII.B.**

Date: **1/17/2024**

Date submitted:
01/02/2024

Action: Other

Subject: Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial, or continuance of Conditional Use Permit, Case No. CUP2023-038. (Project Name: Filiberto's Drive-Thru Window).

Date requested:
1/17/2024

TO: Planning and Zoning Commission

FROM: Dan Symer, Belinda Cota

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission send a recommendation to the City Council for the approval of the Conditional Use Permit for Case No. CUP2023-038, subject to the following Conditions of Approval and Section 21-3-1.18:

1. Prior to the issuance of the first building permit for the improvements to provide the drive-through, the property owner shall obtain approval from the City of Eloy of a lot combination to combine the properties with the APNs of 404-10-011A and 404-02-0090 into one lot and shall have recorded the combination.
2. Development of the properties shall substantially conform with the Site Plan included in the Preliminary Development Plan attached to the Staff Report as determined by the Zoning Administrator, subject to compliance with the Eloy Code.
3. This Conditional Use Permit shall terminate on September 1, 2025, if the drive-through improvements shown on the Site Plan have not been constructed as determined by the Zoning Administrator.

21-3-1.18: DRIVE-THROUGH FACILITY:

A. This section shall apply to all principal uses that include a drive-through facility. Uses may include, but not be limited to, financial institutions, fast food restaurants, coffee shops, convenience stores, drug stores, and liquor stores.

1. Menu boards shall not be placed facing the primary street. In addition, every effort shall be made to avoid placing payment and/or pick-up windows adjacent to public streets. Payment and/or pick-up windows shall not face I-10, Main Street, Frontier Street, or Sunshine Blvd.

2. Drive-through aisles that face or are adjacent to public streets shall be screened from public view by a minimum three-foot (3') tall masonry wall that matches the primary

structure or a landscape berm.

3. No drive-through aisles shall exit directly onto a public right-of-way.

4. Drive-through queuing length shall be approved in accordance with section 21-4-1 of this chapter.

5. Clearly marked pedestrian crosswalks shall be provided for each walk-in customer access point to the facility that is located adjacent to a drive-through lane(s). Pedestrian crosswalks shall avoid crossing drive-through lanes. (Ord. 18-880, 7-23-2018)

DISCUSSION:

None.

FISCAL IMPACT:

The indirect fiscal impact of this decision will allow for the design of the existing building for a new Filiberto's Mexican Restaurant with a drive-thru window in the City of Eloy (Toltec Area), which will contribute both sales and property tax proceeds to the City.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VIII.C.**

Date: **1/17/2024**

Date submitted:
01/02/2024

Action: Other

Date requested:
1/17/2024

Subject: Conduct a public hearing for an application submitted by Mecca Energy, LLC on behalf of Shavell Gounod to rezone approximately 0.52 acres from Single-Family Residential (R1-6) with the Downtown Core Overlay (DCO) to Multiple Family Residential (R-3) (10-24 dwelling units/acre) with a Downtown Core Overlay (DCO). The subject parcel is located at 211 E. 4th Street (between Stuart Boulevard and Sunshine Boulevard, Pinal County Parcel number 405-03-331A) in a portion of Section 6, Township 8 South, Range 8 East of Gila & Salt River Base & Meridian, Pinal County, Arizona. Case No. RZ2023-066 (Project Name: Autumn Cottages @ Eloy)

TO: Planning and Zoning Commission

FROM: Dan Symer, Belinda Cota

RECOMMENDATION:

Addressed in the next agenda item.

DISCUSSION:

The City has received an application submitted by Mecca Energy, LLC on behalf of Shavell Gounod to rezone approximately 0.52 acres from Single-Family Residential (R1-6) with the Downtown Core Overlay (DCO) to Multiple Family Residential (R-3) (10-24 dwelling units/acre) with a Downtown Core Overlay (DCO). The subject property is located at 211 E. 4th Street (between Stuart Boulevard and Sunshine Boulevard, Pinal County Parcel number 405-03-331A) in a portion of Section 6, Township 8 South, Range 8 East of Gila & Salt River Base & Meridian, Pinal County, Arizona. Case No. RZ2023-066 (Project Name: Autumn Cottages @ Eloy).

The City of Eloy's General Plan Land Use Element designation for the property is High-Density Residential, 10.0 to 24.0 dwelling units per acre (du/ac). The High-Density Residential land use designation is intended to accommodate two-and three-story apartments, condominiums, and townhomes close to employment and service areas and to buffer lower-density residential areas from higher-intensity uses. In addition, the property is within the Downtown area that has General Plan specific goals and objectives contained within the plan's Downtown Development and Neighborhood Preservation Element. The purpose of the Downtown Development and Neighborhood Preservation Element is to provide an overarching blueprint to reinvigorate Downtown Eloy as a major economic engine and livable community that is a magnet for residents, businesses, retail, and tourism.

The purpose of the Multiple Family Residential (R-3) zone is to allow for higher-density development to provide a balance of housing opportunities within Eloy. The Multiple Family Residential (R-3) zone allows for developments that have a density between 10.0 to 24.0 du/ac, and a typical height of three (3) stories and 40 feet. Furthermore, the district is most appropriate in the Downtown area, adjacent to large shopping or employment centers, or within large Planned Area Developments. The district requires direct connection to higher volume roadways and all public utilities.

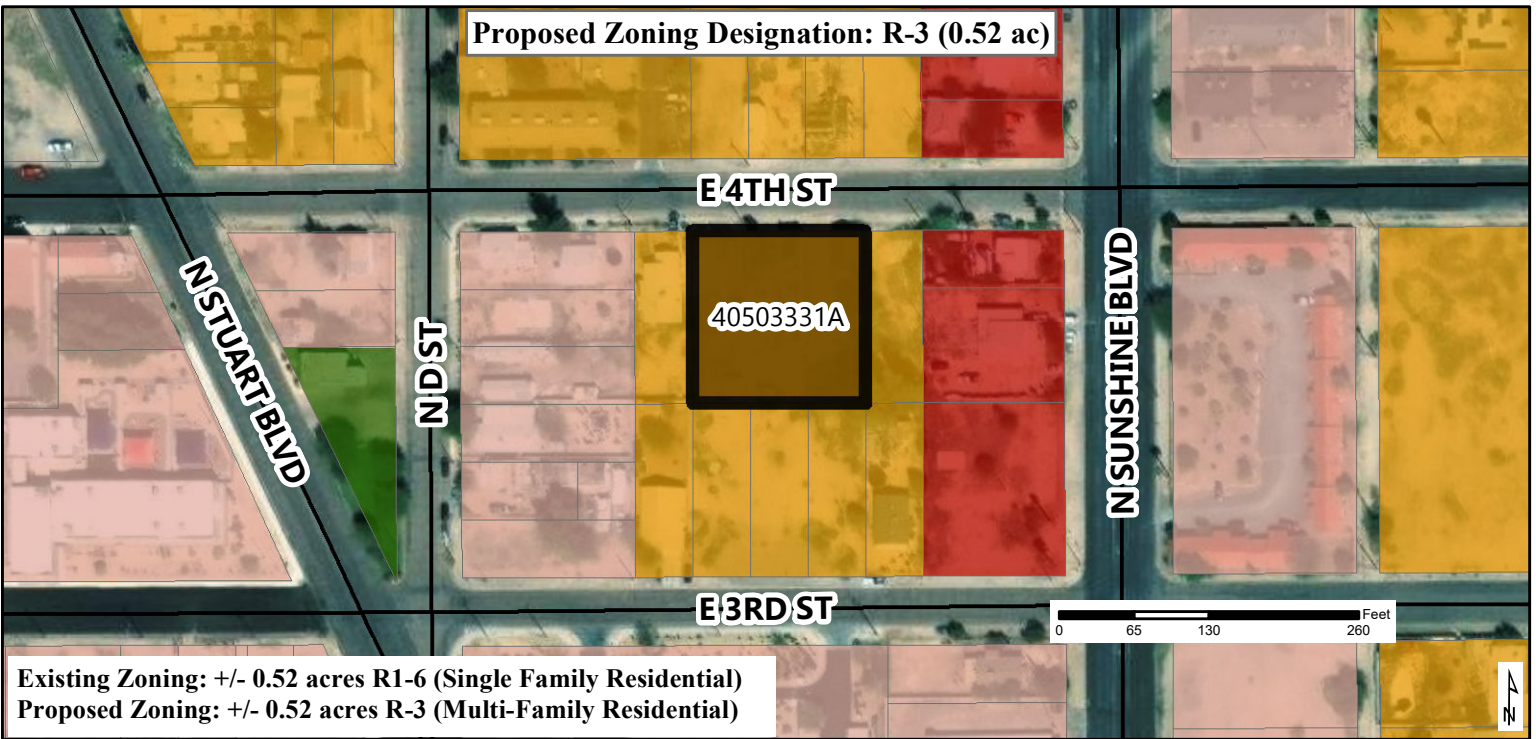
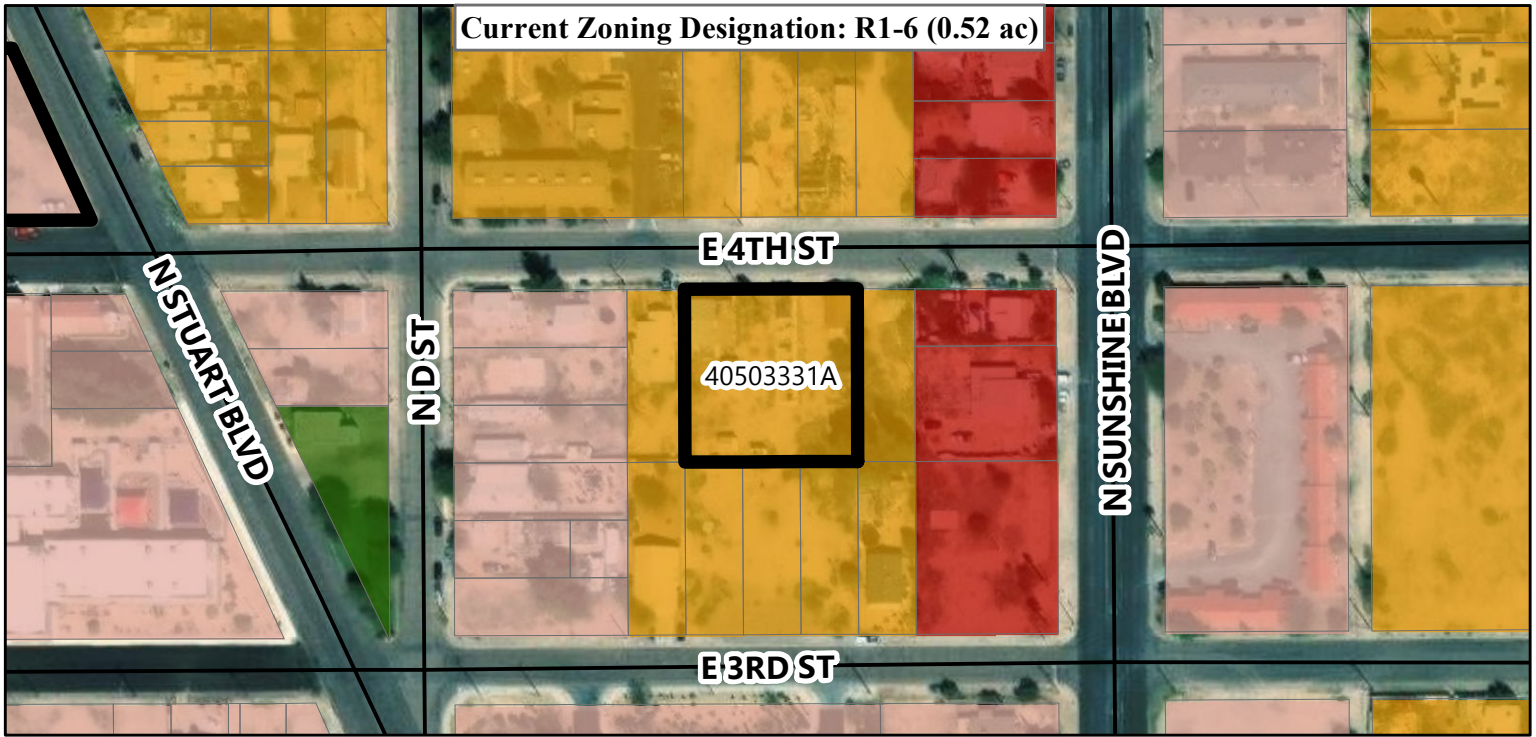
The purpose of the Downtown Core Overlay (DCO) zone is to allow for a diverse mixed-use pedestrian-oriented area containing specialty retail, neighborhood residential, and tourist trade in Eloy's Downtown. The overall goal of the overlay is to accommodate and enhance the vitality, character, and economic viability of the buildings and property within the Downtown area.

As further described in the attached Application Narrative and Preliminary Development Plan, the primary purpose of the applicant's request is to rezone the property to accommodate a gated seven-unit multi-family development with a community center building containing a small café. The unit mix of the development is proposed to contain six three-bedroom, two-bath units, and one Americans with Disabilities Act (ADA) compliant unit. The development's proposed density equates to 13.46 du/ac, and the maximum building height is approximately twenty feet and three inches - which includes two stories.

The applicant's request to rezone the property from Single-Family Residential (R1-6) with the Downtown Core Overlay (DCO) to Multiple Family Residential (R-3) (10-24 dwelling units/acre) with a Downtown Core Overlay (DCO) complies with the General Plan.

FISCAL IMPACT:

There is no fiscal impact.



Autumn Cottages @ Eloy Rezoning Exhibit - Case No: RZ2023-066

Zoning Designations

Single Family

- RR-20 Rural Residential (20 acres/du)
- RR-5 Rural Residential (5 acres/du)
- RR-2.5 Rural Residential (2.5 acres/du)
- R1-54 Estate Residential (1.25 acres/du)
- R1-43 Estate Residential (43,560 sq. ft.)
- R1-12 Single Family Residential (12,000 sq. ft.)
- R1-6 Single Family Residential (6,000 sq. ft.)

Multi-Family

- R-2 Small Lot Residential (6-10 du/acre)
- R-3 Multiple Family Residential (10-24 du/acre)

Commercial

- C-1 Neighborhood Commercial
- C-2 Community Commercial
- MU Mixed Use

Industrial

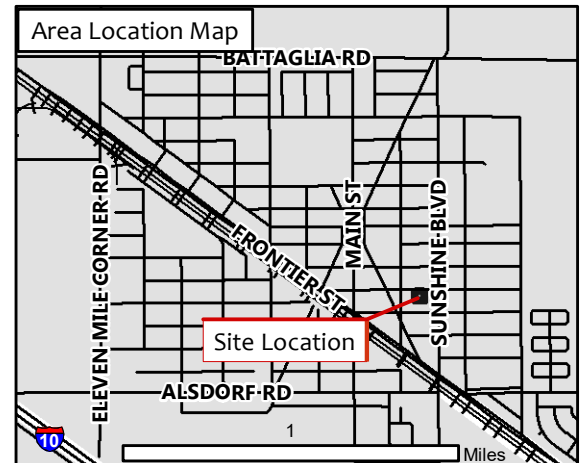
- BP Business Park
- I-1 Light Industrial
- I-2 General Industrial

Public Facility

- PF Public Facility

Open Space

- OSC Open Space Conservation
- OSR Open Space Recreational



Disclaimer: This map is for reference purposes only and is not suitable for legal, financial, engineering, or surveying purposes or commitments. The City of Eloy assumes no responsibility for errors, omissions, or inaccuracies presented, and shall have neither liability nor responsibility for any direct or indirect loss or damage in connection with, or arising from, the information on this map. Any conclusions derived from this map are the responsibility of the user.



Autumn Cottages @ Eloy Zoning Application

November 29, 2023

Owner/Applicant

Shavell KC Gounod
P.O. Box 376
Eloy AZ 85131
Contact: Shavell Gounod
Tel: 818-212-0304

Planner

Mecca Energy, LLC
P.O. Box 376
Eloy AZ 85131
Contact: Shavell Gounod
Tel: 818-212-0304

Introduction

Mecca Energy, LLC, on behalf of Shavell Gounod, submits this Zoning Application to allow for an affordable housing multi-family community on approximately .52 acres located at 211 East 4th St between Stuart Boulevard and Sunshine Boulevard. Pinal County Tax Assessor Parcel Number (APN) is 405-03-331A. This zoning application is in conformance to the City of Eloy General Plan which designates the property as High Density Residential (HDR). The site includes one residential lot with two existing single-family home, and five detached storage units on the property which will be demolished.

Request

The applicant proposes to operate a multi-family housing community on the subject site. This request is to amend the zoning map from R1-6, Single Family Residential with a Downtown Core Overlay to R-3, Multiple Family Residential with a Downtown Core Overlay (DCO). The Eloy Zoning Code permits multi-family residences in R-3 zoning districts which aligns with its General Plan.

The Eloy General Plan for the site is High Density Residential (HDR)

The owner/resident of the property desires to manage a multi-family residence with petite café in community center. There will be Six (6) three bedroom, 2 bath units, One (1) ADA compliant unit, One (1) community center with petite cafe within the gated community. Multi-family residents typically provide permanent housing for working families. Autumn Cottages also offers the City of Eloy residents the opportunity to meet, have a meal and create in an informal and social setting on the premises.

Gold Bond Manufacturing estimates bringing 500 new jobs to the City of Eloy, along with Cobra Solutions, Lithium-Ion batteries, Exceptional Community Hospital, Loves Gas Station, with both Nikola Manufacturing and Lucid Motors in neighboring cities within a 40 mile radius, there is an inevitable need for affordable housing.



The condemned buildings existing are perfectly suited to revitalize downtown Eloy and provide sustainable, energy-efficient multi-family housing. The current structures were condemned in 2013. The community will provide indoor/outdoor living with a fire pit, laundry facility, a café to purchase food items, and a gym for resident/guest use.

Dawn to dusk lights may be installed by APS on the two power poles that exist along the streetway on the frontside of the property.

Proposed Zoning

The existing zoning is R1-6, a Single Family Residential zoning district that requires a minimum lot size of 6,000 square feet per dwelling unit. The subject lot does not exceed the minimum lot size, to be aligned with the General Plan. To operate multi-family, the applicable zoning category is R-3, a high density zoning district, with a downtown overlay.

The subject site is located at the intersection of two minor arterial roadways, with direct access to East 4th Street. Any vehicular access will be directly to East 4th Street and will not impact the residents to the west. The proposed use will maintain the character of a multi-family community and it will have several positive impacts on the neighborhood. The subject site will act as a buffer between the homes to the west and the potential for vehicular noise at the intersection of two minor arterial roadways.

Autumn Cottages @ Eloy use is permitted in the R-3 zone provides multi-family residences with a Downtown Core Overlay are used for business, and able to accommodate off street parking space is provided per unit. The existing site can accommodate eight parking spaces which will be treated with a dust free surface

Compliance with General Plan

The R-3 zoning category is consistent with the Goals and Policies of the General Plan. The site is within Growth Area 1, the Golden Corridor, which includes a mix of medium and high-density residential uses. The request is also in compliance with Land Use Goal 2.0, 'Provide a range of land uses to encourage and maintain a sustainable community'. Permitting the affordable housing units encourages both home and business that adds to the economy of the community supporting Eloy's sustainability.

Conclusion

We respectfully request your favorable consideration of the rezoning from R1-6, Single Family residential (DCO) to R-3, Multifamily Residential with a Downtown Core Overlay (DCO) to allow the development of Autumn Cottages @ Eloy. The owner and consultant team look forward to working with the City of Eloy to establish a successful local business.

GENERAL NOTES

THIS PROJECT SHALL COMPLY WITH THE 2018 IRC -INTERNATIONAL RESIDENTIAL CODE, 2018 IMC -INTERNATIONAL MECHANICAL CODE, 2018 IPC -INTERNATIONAL PLUMBING CODE, 2017 NEC -NATIONAL ELECTRICAL CODE, 2018 IFGC -INTERNATIONAL FUEL GAS CODE, 2018 IFC -INTERNATIONAL FIRE CODE, 2018 IPMC -INTERNATIONAL PROPERTY MAINTENANCE CODE, 2018 IECC -INTERNATIONAL ENERGY CONSERVATION CODE AS ADOPTED AND AMENDED BY THE CITY OF ELOY, ARIZONA.

NOTE: IF CONFLICT WITH NOTES ON PLANS, MOST RESTRICTIVE REQUIREMENTS WOULD GOVERN.

2X4 LIGHT FRAMING TO BE STUD GRADE. JOIST AND RAFTERS TO BE NO.2 D.F. (DOUG FIR.) -IARCH. BEAMS, STRINGERSAND HEADERS TO BE NO.1 D.F. -IARCH. POSTS AND TIMBERS BE NO.1 D.F. -IARCH. UNLESS OTHERWISE SPECIFIED, TIMBER SHALL BE DOUG FIR AND SHALL CONFORM TO W.C.L.I.B STANDARD GRADING AND DRESSING, RULES.

1. ALL STRUCTURAL: BEAM/B.EAM BEAM/COLUMN AND COLUMN/FOUNDATION MUST BE POSITIVELY CONNECTED WITH SIMPSON OR EQUIVALENT CONNECTORS REGARDLESS OF LACK OF CONNECTION DETAILING ON PLANS. STANDARD CONNECTIONS U.O.N SIMPSON OR EQUIVALENT: BEAM/COLUMN "CC" BEAM/B.EAM -"HUFT", COLUMN/PAD FOOTING -"CB"

2. COMBINATION FLORESCENT LIGHT/VENT FAN, CAPABLE OF 5 AIR CHANGES/HOUR, AT NEW INTERIOR BATHROOMS, OR ADD WHERE EXTERIOR BATHROOM WINDOW IS REMOVED.

3. WATER CLOSETS: 1.6 GPF SHOWER HEADS: 2.5 GPM LAUNDRY FAUCETS: 2.2 GPM SINK FAUCETS: 2.2 GPM

4. STUCCO/SIDING

5. 1X LAP OR VERTICAL SIDING 1"CDX PLYWOOD.

6. CRAWL SPACE ACCESS TO RAISED FOUNDATION 18"x24"

7. CRAWL SPACE VENTILATION 1/150 OF AREA XXXXX SQ.FT.

8. ATTIC VENTILATION 1/150 OF ATTIC AREA XXXXX SQ.FT. MAX 144SQ.INCHES IN FIRE HAZARD AREA.

9. 3 TAB CLASS "A" FIRE RATED SHINGLES 0/15 # FELT AND OVER 2 LAYERS 15 # FELT FOR 3/12 PITCH OR LESS.

10. TILE ROOF. 6LB./SQ.FT/0/30 # FELT -ICBO ER-4907.

11. ALL HOSE BIBS ARE REQUIRED TO BE PROTECTED WITH A PERMANENTLY ATTACHED ATI-SIPHON DEVICE. MIN. 1 HOSE BIB REQUIRED FRONT AND BACK.

12. GROUND FAULT INTERCEPTOR PROTECTION (GFI) FOR ALL EXTERIOR RECEPTACLES, IN BATHROOMS, IN UNFINISHED BASEMENTS/CRAWL SPACES, IN GARAGES AND AT COUNTER TOP IN KITCHENS OR AT BAR SINKS.

13. SWITCHED LIGHT FIXTURE IN EVERY HABITABLE ROOM, BATHROOM, STAIRWAY, HALL, ATTACHED GARAGE AND AT OUTDOOR ENTRANCES.

14. PROVIDE 2 GFI PROTECTED EXTERIOR RECEPTACLES, WEATHER PROOF W/BUBBLE COVER ON AT THE REAR AND FRONT OF EACH DWELING UNIT.

15. OUTLETS ARE REQUIRED FOR KITCHEN COUNTER SPACE 12" AND WIDER IN SUCH A MANNER THAT NO POINT ALONG THE WALL IS MORE THAN 2' FROM OUTLET OR MORE THAN 4' FOR ISLAND AND PENINSULA COUNTERS.

16. OUTLETS FOR WALL SPACES 2' AND WIDER AT MAXIMUM 12' O.C. SO THAT NO POINT ALONG A WALL, FIXED GLASS, OR GUARD RAIL IS MORE THAN 6' FROM OUTLETS.

17. A DEDICATED 20 AMP BRANCH CIRCUIT FROM BATHROOM RECEPTACLES IS REQUIRED.

18. 4" THICK CONCRETE LANDING 1" BELOW THRESHOLD MIN. 36"x MIN. 36" WIDE OR FULL WIDTH OF DOOR(S) OR FULL WIDTH OF PATIO DOORS, OR FRENCH DOORS.

19. WATER HEATER WILL BE SECURELY STRAPPED TO WALL WITH TWO STRAPS, ONE WITHIN 1/3 OF TOP ON 1/3 OF BOTTOM. ELEVATE WATER HEATER MIN, 18" ABOVE GARAGE DOOR ON 1 HR. PANE PEDESTAL.

20. REQUIRED SWIMMING POOL/SPA FENCING MUST BE MAINTAINED DURING CONSTRUCTION OR THE POOL/SPA SHALL BE EMPTIED.

21. PROVIDE ATTIC ACCESS 22"x30", READILY ACCESSOBLE WITH MIN. 30" CLEAR HEAD ROOM.

22. PROVIDE HOUSE STREET NUMBER VISIBLE FROM THE STREET. NUMBERS SHALL BE NON COMBUSTIBLE IN VERY HIGH SEVERITY ZONES.

23. PROVIDE APPROVED SMOKE DETECTORS. ADDITIONAL INFO SHEET 1.

24. SHOWERS SHALL BE FINISHED 70" ABOVE DRAIN WITH MATERIALS NOT ADVERSELY AFFECTED BY MOISTURE.

25. ANTI SCALDING SHOWER AND TUB AND SHOWER VALVES ARE REQUIRED AND SHALL BE OF PRESSURE BALANCE OR THERMOSTATIC. MIN. VALVE TYPE. SEC.410.7 UPC.

26. ACCESS PANEL (12"x12") REQUIRED FOR TUB STRAP SLIP-JOINT OR USE NON-SLIP (WELDED) JOINT.

27. STUCCO LATH AND DRYWALL SHALL BE NAILED TO STUDS AND TOP- BOTTOM PLATES.

28. SAFETY GLAZING IS REQUIRED AT WARDROBE DOORS, SHOWER DOORS, AND WINDOWS AT BATH TUBS AND SHOWERS AND WITHIN 2' OF DOORS.

29. PROVIDE APPROVED SPARK ARRESTOR AT FIREPLACE CHIMNEY.

30. WALL BETWEEN HOUSE LIVING AREA AND GARAGE (R-3, U-1) SHALL BE "TYPE X" DRYWALL, FLOOR TO FLOOR SHEATHING WITH TAPED JOINTS.

31. DOORS BETWEEN R-3 AND U-1, 1-3/4" SOLID CORE (20MIN.) DOOR, SELF- CLOSING AND TIGHT FITTING.

32. PROVIDE BALLOON FRAMING AT EXTERIOR WALL SIDING ON SLOPING CEILING.

33. PROVIDE DOUBLE TOP PLATE WITH 48" LAP SPLICES STRAPPED WITH SIMPSON STRAP ST6224.

34. PROVIDE FIRE BLOCKING, VERTICAL OR HORIZONTAL, SHALL CONFORM TO IRC R302.11.

35. STUDS SUPPORTING 3 STORIES SHALL BE 2X6 OR 3X4 @ 16" O.C.

36. MAX. STUD HEIGHT IS 10' FOR BEARING WALLS, MAX 14' FOR NON BEARING 2X4, FIRE BLOCK AT MID SPAN.

37. WHERE PLATES OR SOLE PLATES CUT FOR PIPES, STRAP 1-1" WIDE BY 24" LONG BY . " THICK SHALL BE FASTENED ACROSS THE OPENING WITH 16D NAILS ON EACH SIDE.

38. ROOF SHEATING" 1" T&G CDX STRUCTURAL 1 PLYWOOD OR O.S.B.B.N: 8D @6" O.C., EN: 8D @6" O.C.; AND FN: 8D @12" O.C. U.O.N. AT ROOF FRAMING PLAN.

39. FLOOR SHEATING: 1" T&G CDX STRUCTURAL 1 PLYWOOD OR APA RATED O.S.B.; B.N.: 10D @6" O.C., EN: 10D @6" O.C., AND FN. 10D @10" O.C. USE RING SHANK NAILS AND GLUE PLYWOOD TO FRAMING ACCORDING TO MANUFACTURERS SPECIFICATIONS.

40. PROVIDE DOUBLE FLOOR JOIST UNDER ALL PARALELL PARTITIONS, SOLID BLOCK JOIST UNDER WALLS AND BEARING POINTS.

41. FLOOR JOIST FRAMING FROM OPPOSITE SIDE OF BEAM, GIRDER OR PARTITION SHALL BE LAPPED AT LEAST 3" OR THE OPPOSING JOIST SHALL BE TIED TOGETHER IN AN APPROVED MANNER.

42. PROVIDE 5/8" ANCHOR BOLTS EMBEDDED 7" INTO CONCRETE OR MASONRY @6" O.C. MIN. 2 BOLTS PER PLATE, ONE BOLT WITHIN 12" OF PLATE END CORNERS. NOTE: BOLTS SHALL EXTEND 5" INTO FOOTING ON TWO (2) POUR SYSTEM (EXTRA LONG BOLTS). USE 3/16" X 2' SQ. PLATE WASHERS.

43. PROVIDE REINFORCING STEEL IN SLAB.

44. MIN. DEPTH OF FOOTING BELOW NATURAL GRADE AND WIDTH OF FOOTING. 12"x12" SUPPORTING ONE STORY STRUCTURE; AND MIN 15" WIDE X 18" DEEP FOR TWO STORY FOOTING, U.O.N..

45. USE TYPE V CEMENT FOR HIGH SULFATE SOILS 2500 P.S.I., U.O.N.

46. FOOTING SHOULD BE EXAMINED BY THE BUILDING INSPECTOR PRIOR TO CONCRETE POUR. ALL SPECIAL BOLTING AND SHEAR HARDWARE TO BE TIED IN PLACE.

47. PROVIDE STUCCO BASE SCREED.

48. FOUNDATION SUPPORT WOOD SHALL EXTEND AT LEAST 6" ABOVE THE ADJACENT FINISHED GRADE PAVING OR SIDEWALK.

49. FOOTING SHALL BE PROVIDED UNDER ALL BEARING WALLS.

50. PLYWOOD SHEAR WALL SHEATING: 1" CDX STRUCTURAL 1 PLYWOOD OR APA RATED B.N.: 8D @6" O.C., EN: 8D @6" O.C., AND FN. 8D @12" O.C. U.O.N ON FRAMING PLAN.

51. ALL SECOND FLOOR SHEAR WALLS SHALL PROPERLY BE ATTACHED TO THE ROOF DIAPHRAGM.

52. ALL GLAZING SHALL BE DUAL GLAZED TO MEET THE ENERGY CODE STANDARDS.

53. PROVIDE R-13 IN THE EXTERIOR WALLS, R-19 IN WOOD FLOORS OVER NON LIVING AREAS, PROVIDE R-30 IN THE ROOF OR CEILING UNLESS OTHERWISE RECOMMENDED BE CERTIFIED ENERGY REPORT.

54. DRYER VENT SHALL BE 4" SMOOTH ROUND METAL, MAX. LENGTH OF 14" WITH 90 DEGREE BENDS. ANY DEVIATION SHALL BE ENGINEERED AND APPROVED BY MECHANICAL UNIT.

55. ALL EPOXY INSTALLATIONS REQUIRE SPECIAL INSPECTION, U.O.N

56. PROVIDE AT LEAST ONE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE FOR EVERY ROOM USED FOR SLEEPING PURPOSES AND AT BASEMENTS. THIS WINDOW OR OPENING MUST HAVE A CLEAR NET OPEN ABLE DIMENSION OF 24" HIGH AND 20" WIDE AND TOTAL 5.7 SQ. FT.. THE MAX FINISHED SILL HEIGHT IS 44" ABOVE FLOOR.

57. FLUORESCENT LIGHTS RATED AT NOT LESS THAN 40 LUMENS/WATT FOR GENERAL LIGHTING IN KITCHENS AND BATHROOMS.

58. HEATING, SYSTEM IN ATTIC. ATTIC ACCESS MIN. 30"x30" NOT OVER 20' FROM EQUIPMENT. UNOBSTRUCTED PASSAGE 24" WIDE WITH SOLID CONTINUOUS FLOORING FROM ACCESS TO EQUIPMENT/CONTROL PANEL. A LEVEL, UNOBSTRUCTED WORK PLATFORM MIN. 30" IN FRONT OF EQUIPMENT WITH 30" HEADROOM. LIGHT OVER EQUIPMENT WITH SWITCH AT ACCESS. AIR SUPPLY OPENING OF 2 SQ.IN./1,000 BTU FOR BLOWER TYPES AND 7 SQ.IN./1,000 BTU FOR GRAVITY FEED TYPE.

DRAWING INDEX

ARCHITECTURAL	
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A100.2	FLOOR & ROOF PLANS - 2-STORY DUPLEX
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A100.4	FLOOR PLANS & ELEVATIONS - COMMUNITY BUILDING
V100	EXTERIOR VIEWS
V101	EXTERIOR VIEWS

PROJECT TEAM

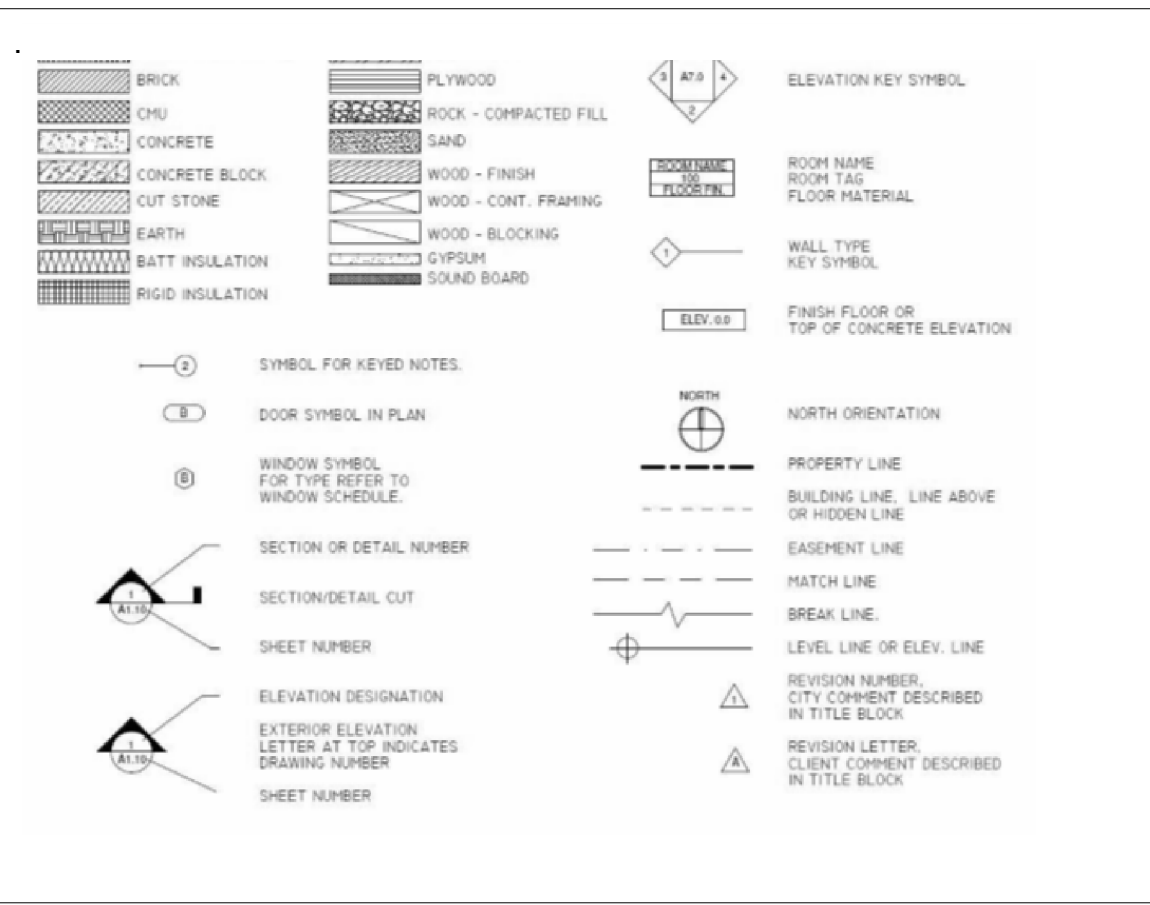
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Phone: (832) 978-5179
Email: bryce@bingeniousdesigns.com
Structural Engineer:

Soils Engineer:

PROJECT DATA

SEE PG. C100 FOR LOT AREA CALCULATIONS

SYMBOLS



CODE INFORMATION SCHEDULE

2018 IRC - INTERNATIONAL RESIDENTIAL CODE
2018 IMC - INTERNATIONAL MECHANICAL CODE
2018 IPC - INTERNATIONAL PLUMBING CODE
2017 NEC - NATIONAL ELECTRICAL CODE
2018 IFGC - INTERNATIONAL FUEL GAS CODE
2018 IFC - INTERNATIONAL FIRE CODE
2018 IPMC - INTERNATIONAL PROPERTY MAINTENANCE CODE
2018 IECC - INTERNATIONAL ENERGY CONSERVATION CODE

THE LISTED CODES TO INCLUDE THE INCORPORATION OF THE **CITY OF ELOY, ARIZONA** ADMENDMENTS.

SCOPE OF WORK

THIS PROJECT CONSIST OF THE CONSTRUCTION OF A TINY HOUSE COMMUNITY ON EAST 4TH STREET IN ELOY, ARIZONA.

IT OCCUPIES A TRACT OF LAND APPROXIMATELY 22,500 SQ.FT. THE MAIN HOUSE ADDITION STRUCTURE WILL BE A LIGHT WOOD FRAME CONSTRUCTION.

VICINITY MAP





info@bingeniousdesigns.com
832-978-5179



00/00/2022

PROJECT OWNER AND ADDRESS

**AFFORDABLE COTTAGE
HOUSE COMMUNITY**

211 E. 4TH ST.
ELOY, AZ 85131

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		

DO NOT SCALE DRAWINGS. CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS. NOTIFY DESIGNER OF ANY DESCREPANCIES PRIOR TO BEGINNING CONSTRUCTION.

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COVER SHEET

Project number	Project Number
Date	10/27/2023 10:33:44 AM
Drawn by	Author
Checked by	Checker

I001

Scale

GENERAL NOTES CONT'D

59. NOTE: "REQUIRED SWIMMING POOL/SPA FENCING MUST BE MAINTAINED DURING CONSTRUCTION OR THE POOL/SPA SHALL BE EMPTIED". (IF APPLICABLE)
60. RADIANT BARRIER REQUIRED IN CLIMATE ZONES 2,4,8-15. REQUIRED THIS SUBMITTING. YES-----, NO-----
61. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO OIL WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS OR WASTE WATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
62. APPROVAL MUST BE OBTAINED AND/OR FEES PAID TO FOLLOWING AGENCIES. THIS INFORMATION SHOULD REACH THE PROJECT OWNER OR OTHER INDIVIDUAL WITH AUTHORITY TO ACT ON IT AND IT SHOULD REACH THEM AS EARLY AS POSSIBLE IN THE PLAN REVIEW PROCESS. () CITY PLANNING DIVISION ZONING CLERANCE () SCHOOL FEES () OTHER
63. EXTERIOR LATH: PROVIDE TWO LAYERS OF GARAGE D PAPER OVER ALL WOOD BASE SHEATHING. (IRC R703.6.3)
64. (TYP) STRAP NEW WALL TO EXISTING AT TOP PLATE WITH ST 6236
SMOKE DETECTORS
HARDWIRED SMOKE DETECTORS WITH A BATTERY BACKUP ARE REQUIRED. SHOW ALL LOCATIONS WITH SYMBOL SD ON PLAN.
PROVIDE SMOKE DETECTORS IN EACH HALLWAY LEADING TO SLEEPING ROOMS, EACH SLEEPING ROOM OF NEW AN EXISTING CONSTRUCTION, TOP OF STAIRWAY, AND IN EACH STORY. IN NEW CONSTRUCTION DETECTORS TO BE HARD WIRED WITH BATTERY BACK UP. (IFC 907.2.11.3) DETECTORS SHALL BE INTERCONNECTED TO SOUND AT THE SAME TIME. DETECTORS ARE NOT TO BE LOCATED IN KITCHEN, GARAGE OR WITHIN 3 FEEL FROM DOOR OR KITCHEN OR BATHROOM, OR SUPPLY AIR REGISTERS.
65. CRAWLSPACE ACCESS R408.4 2015 IRC. ACCESS SHALL BE PROVIDED TO ALL UNDER FLOOR SPACES. ACCESS OPENINGS THROUGH THE FLOOR SHALL BE A MIN OF 18 INCHES BY 24 INCHES. OPENINGS THROUGH A PERIMETER WALL SHALL NO BE LESS THA 16INCHES BY 24INCHES. WHEN ANY PORTION OF THE THROUGH WALL ACCESS IS BELOW GRADE, AN AREAWAY NOT LESS THAN 16INCHES BY 24INCHES SHALL BE PROVIDED. THE BOTTOM OF THE AREAWAY SHALL BE BELOWTEH THRESHOLD OF THE ACCESS OPENING. THROUGH WALL ACCESS OPENINGS SHALL NOT BE LOCATED UNDER A DOOR TO THE RESIDENCE. SEE SEC M1305.1.4 FOR ACCESS REQUIREMENTS WHERE MECHANICAL EQUIPMENT IS LOCATED UNDER FLOORS.

GENERAL CONDITIONS OF CONSTRUCTIONS DRAWIINGS

1. THESE DRAWINGS ARE NOT INTENDED TO BE A COMPLETE SET OF INSTRUCTIONS ON HOW TO CONSTRUCT THIS PORTION OF THE WORK. CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, AND SITE SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
2. SCALING THESE DRAWINGS IS NOT PERMITTED. ONLY THE INDICATED DIMENSIONS ON THESE AND SHALL BE USED FOR DETERMINING DIMENSIONS OF INDIVIDUAL ARCHITECTURAL DRAWINGS COMPONENTS. ANY DISCREPANCIES IN THE STATED AND GRAPHICALLY-DEPICTED DIMENSIONS MUST BE BROUGHT TO THE ATTENTION OF ARCHITECT AND ENGINEER.
3. DIMENSIONS SHOWN HEREIN MUST BE THOROUGHLY EXAMINED AND VERIFIED BY THE CONTRACTOR. IN SO MUCH AS THEY IMPACT ANY PART OF THE WORK DEPICTED HEREIN, FIELD MEASUREMENTS, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR, WHO SHALL BRING TO THE ATTENTION OF THE ARCHITECT AND ENGINEER ANY DISCREPANCIES BETWEEN FIELD-MEASURED AND HEREIN-DEPICTED DATA, PRIOR TO FURTHER PROCEEDING WITH CONSTRUCTION.
4. COORDINATION OF THESE DRAWINGS WITH THE WORK OF OTHER TRADES IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NO INFORMATION DEPICTED HEREIN IS INTENDED TO DEMONSTRATE FINAL THE CONTRACTOR. COORDINATION BETWEEN AFFECTED TRADES.
5. CONTRACTOR MUST VERIFY THAT THE PLANS ARE THE VERY LATEST, AND MUST VERIFY THAT THESE PLANS HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT-ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR, PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS, THAT MUST BE ADJUSTED OR REDONE, SHALL BE ADJUSTED OR REDONE AT THE CONTRACTOR'S EXPENSE.
6. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT-ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
7. THE CONTRACTOR SHALL MAKE NO CHANGES FROM THE CONTRACT DOCUMENTS. CHANGES TO THE SCOPE OF WORK OR EXTRAS WHICH INVOLVE COST WILL NOT BE HONORED WITHOUT THE PRIOR APPROVAL OF THE OWNER. ANY CHANGES MADE WITHOUT PRIOR APPROVAL WILL BE REBUILT TO THE ORIGINAL CONDITIONS, AT THE CONTRACTOR'S EXPENSE.

CONDITIONS OF CONTRACT

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE CODES, ORDINANCES AND STANDARD SPECIFICATIONS OF ALL AGENCIES THAT HAVE THE RESPONSIBILITY OF REVIEWING PLANS AND SPECIFICATIONS FOR CONSTRUCTION OF ALL ITEMS IN THIS PROJECT.
2. CONTRACTOR SHALL MAKE APPLICATIONS FOR AND PAY ALL FEES IN CONNECTION WITH ANY PERMITS, INSPECTIONS, TESTS, ETC., THAT MAY BE REQUIRED FOR THIS PROJECT.

ABBREVIATIONS

AB ANCHOR BOLT
ACC ACOUSTIC AIR
A/C CONDITIONING
AC ALTERNATING
CURRENT
ADA AMERICANS WITH DISABILITY ACT
AFF ABOVE FINISHED FLOOR
AL ALUMINUM ALTALTERNATE
APPRX APPROXIMATE ARCH
ARCHITECTURAL
ASPH ASPHALT
BD BOARD
BLDG BUILDING
BLK BLOCK
BLKG BLOCKING BOTTBOTTOM BW
BOTH WAYS
C CONDUIT
CAB CABINET
CB CATCH BASIN
CC CENTER TO CENTER
CEM CEMENT
CER CERAMIC
CI CAST IRON
CLG CEILING
CSOPG CASED OPENING
CO CLEAN OUT
CR COLD ROLLED
COL COLUMN
CONC CONCRETE
CONN CONNECTION
CONST CONSTRUCTION
CONT CONTINUOUS
CONTR CONTRACTOR
CTD COATED
CTSK COUNTERSUNK
CW COLD WATER
BL DOUBLE
DC DIRECT CURRENT
DEPT DEPARTMENT
DET DETAIL DIADIAMETER
DIM DIMENSION
DN DOWN
DO DOOR OPENING
DR DOOR
DS DOWNSPOUT
DWG DRAWING
EA EACH
EG EGRESS DOORS
EL EXPANSION JOINT
EJ ECELECTRICAL
ELEV ELEVATION
ENCL ENCLOSURE
EQ EQUAL
EW EACH WAY
EWC ELECTRIC WATER COOLER
EXIST EXISTING EXPEXPANSION EXPO
EXPOSED EXTEXTERIOR
FA FIRE ALARM
FD FLOOR DRAIN
FDN FOUNDATION
FF FINISH FLOOR

FL FINISH
FLOOR
FLASH FLASHING
FLUOR FLUORESCENT
FR FIRE-RATED
FS FULL SIZE
FT FOOT OR FEET
FTG FOOTING
FURN FURNISH
FURR FURRING
GA GAUGE
GI GALVANIZED IRON
GB GRAB BAR
GC GENERAL CONTRACTOR
GL GLASS
GM GAS METER
GND GROUND
GYP GYPSUM
GWB GYPSUM WALLBOARD
H HIGH
HC HOLLOW CORE
HDWD HARDWOOD
HDW HARDWARE
HM HOLLOW METAL
HORIZ HORIZONTAL
HT HEIGHT
HTG HEATING
HVAC HEATING VENTILATION. AND A/C
HW HOT WATER
ID INSIDE DIMENSION
INSUL INSULATION
INST INSTALL
INT INTERIOR
INV INVERT
JAN JANITOR
JT JOINT
KD KNOCKED DOWN
LAM LAMINATE
LAV LAVATORY
LKR LOCKER
LT LIGHT
MBH MAXIMUM MAX 1.000 BTU/HR
MECH MECHANICAL
MET METAL
MFR MANUFACTURER
MH MANHOLE
MIN MINIMUM
MISC MISCELLANEOUS
MO MASONRY OPENING
MTD MOUNTED
MTD NICNOT IN CONTRACT
NO NUMBER
NOM NOMINAL
NTS NOT TO SCALE
OC ON CENTER
OFF OFFICE
OH OVERHEAD
OPNG OPENING
OPP OPPOSITE
PL PLATE
PLAS PLASTER

PLM PLASTIC LAMINATE
PLWD PLYWOOD
PR PAIR
PREFAB PREFABRICATED
PSF POUNDS PER SQ. FT.
PSI POUNDS PER SQ. IN. POINT
PTN PARTITION
QT QUARRY TILE
R RISER
RA RETURN AIR
RAD RADIUS
R.D. ROOF DRAIN
RE REFER TO
REF REFERENCE
REFR REFRIGERATOR
REINF REINFORCED
REQD REQUIRED
REV REVISION
RM ROOM
RO ROUGH OPENING
SC SOLID CORE
SCHED SCHEDULE
SECT SECTION
SHT SHEET
SIM SIMILAR
SPEC SPECIFICATION
SQ SQUARE
SS STAINLESS STEEL STATION
STD STANDARD
STL STEEL
STOR STORAGE
STRUCT STRUCTURAL
SUSP SUSPENDED
SYM SYMMETRICAL
T TREAD
T&B TOP AND BOTTOM
TAS TEXAS ACCESSIBILITY STANDARD
TEL TELEPHONE
TER TERRAZZO
T&G TONGUE AND GROOVE THICK
TP TOP OF PAVEMENT
T/S TLTOP OF STEEL
TYP TYPICAL
UON UNLESS OTHERWISE NOTED
UR URINAL
VCT VINYL COMPOSITION TILE
VERT VERTICAL
VEST VESTIBULE
VIF VERIFY IN FIELD
VT VINYL TILE
VTC VIDEO TRAINING CABINET
W WATT
W/ WITH
W/O WITHOUT
WC WATER CLOSET
WD WOOD
WDDW WINDOW
WH WATER HEATER
WT WEIGHT
WWF WELDED WIRE FABRIC

CONDITIONS OF CONTRACT CONT'D

3. CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD ARCHITECT AND OWNER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE WORK ON THIS PROJECT.
4. THE OWNER, THE ARCHITECT, THE STATE, OR THE COUNTY SHALL NOT BE HELD LIABLE FOR ANY CLAIMS RESULTING FROM ACCIDENTS OR DAMAGES CAUSED BY THE CONTRACTOR'S FAILURE TO COMPLY WITH TRAFFIC AND PUBLIC SAFETY REGULATIONS DURING THE CONSTRUCTION PERIOD.
5. THE CONTRACTOR SHALL CONFINE HIS ACTIVITIES TO THE PROJECT SITE UNDER DEVELOPMENT OR THE EXISTING RIGHT-OF-WAYS, AND SHALL NOT TRESPASS UPON EXISTING ADJACENT PRIVATE PROPERTY WITHOUT THE CONSENT OF THE OWNER.
6. ACCESS SHALL BE MAINTAINED AT ALL TIMES TO PROPERTIES ADJOINING THE CONSTRUCTION SITE. ACCESS TO PRIVATE PROPERTIES MAY BE RESTRICTED TEMPORARILY FOR THE INSTALLATION OF A SPECIFIC UTILITY OR CONSTRUCTION ACTIVITY. IN THIS EVENT, THE PROPERTY OWNER SHALL BE CONTACTED BY THE CONTRACTOR AT LEAST TWENTY-FOUR (24) HOURS IN ADVANCE OF THE RESTRICTION AND SHALL BE GIVEN THE TIME AND DURATION OF THE RESTRICTION. IN NO EVENT SHALL ACCESS BE DENIED OVERNIGHT OR FOR MORE THAN EIGHT (8) CONSECUTIVE HOURS. IF TEMPORARY ACCESS IS AFFORDED NEAR EXCAVATION, SUCH ACCESS SHALL BE CLEARLY DELINEATED AND ADEQUATE MEASURES TAKEN AS REQUIRED TO INSURE ADEQUATE, SAFE ACCESS.
7. WHEN ANY EXISTING UTILITY REQUIRES ADJUSTMENT OR RELOCATION, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY AND COORDINATE HIS WORK ACCORDINGLY. THERE SHALL BE NO CLAIM MADE BY THE CONTRACTOR FOR ANY COSTS CAUSED BY DELAYS IN CONSTRUCTION DUE TO THE ADJUSTMENT OR RELOCATION OF UTILITIES.
8. CONTRACTOR SHALL BE RESPONSIBLE TO HAVE EXAMINED THE PREMISES AND VERIFIED LOCAL REGULATIONS PRIOR TO SUBMITTING THE BID.
9. CONTRACTOR SHALL VERIFY THAT THE PLANS ARE THE VERY LATEST AND HE MUST VERIFY THAT THESE PLANS HAVE BEEN APPROVED BY ALL APPLICABLE PERMIT ISSUING AGENCIES AND THE OWNER. ALL ITEMS CONSTRUCTED BY THE CONTRACTOR, PRIOR TO RECEIVING THE FINAL APPROVAL AND PERMITS THAT MUST BE ADJUSTED OR REDONE, SHALL BE ADJUSTED OR REDONE AT THE CONTRACTOR'S EXPENSE.
10. SHOULD THE CONTRACTOR ENCOUNTER CONFLICT BETWEEN THESE PLANS AND SPECIFICATIONS, EITHER AMONG THEMSELVES OR WITH THE REQUIREMENTS OF ANY AND ALL REVIEWING AND PERMIT ISSUING AGENCIES, HE SHALL SEEK CLARIFICATION IN WRITING FROM THE ARCHITECT BEFORE COMMENCEMENT OF CONSTRUCTION. FAILURE TO DO SO SHALL BE AT SOLE EXPENSE TO THE CONTRACTOR.
11. ALL DIMENSIONS MUST BE VERIFIED WITH EXISTING CONDITIONS AND OR PROPERTY & BUILDING LINES. DO NOT SCALE DRAWING.
12. THE CONTRACTOR SHALL MAKE NO CHANGES FROM THE CONTRACT DOCUMENTS. CHANGES TO THE SCOPE OF WORK OR EXTRAS WHICH INVOLVE COST WILL NOT BE HONORED WITHOUT THE PRIOR APPROVAL OF THE OWNER. ANY CHANGES MADE WITHOUT PRIOR APPROVAL WILL BE REBUILT TO THE ORIGINAL CONDITION AT THE CONTRACTOR'S EXPENSE.
13. CONTRACTOR SHALL FURNISH ALL DUMPSTERS REQUIRED FOR REMOVAL OF TRASH AND DEBRIS RESULTING FROM DEMOLITION AND/OR CONSTRUCTION WORK.
14. THE CONTRACTOR SHALL DISPOSE OF ALL SURPLUS EXCAVATION OR PROVIDE ALL SUITABLE FILL. MATERIAL AS APPROVED BY THE SOILS ENGINEER AND THE COST SHALL BE INCLUDED IN THE PRICE BID FOR THE RELATED ITEMS.
15. EROSION AND SEDIMENT CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH ALL LOCAL AND/OR STATE REQUIREMENTS. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR TO PROTECT ADJACENT PROPERTY AT ALL TIMES DURING CONSTRUCTION. PROTECTIVE MEASURES SHALL BE TAKEN BY THE CONTRACTOR SO AS NOT TO CAUSE ANY MUD, SILT OR DEBRIS ONTO PUBLIC OR ADJACENT PROPERTY. ANY MUD OR DEBRIS ON PUBLIC PROPERTY SHALL BE REMOVED IMMEDIATELY.
16. THE CONTRACTOR IS REQUIRED TO TAKE DUE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES OR STRUCTURES AT THE SITE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE OWNERS OF UTILITIES OR STRUCTURES. CONCERNED BEFORE STARTING WORK, THE CONTRACTOR SHALL NOTIFY THE PROPER UTILITY COMPANY IMMEDIATELY UPON BREAK OR DAMAGE TO ANY UTILITY LINE OR APPURTENANCE, OR THE INTERRUPTION OF THEIR SERVICE. CONTRACTOR SHALL NOTIFY THE PROPER UTILITY INVOLVED. IF EXISTING UTILITY LINES ARE ENCOUNTERED THAT CONFLICT IN LOCATION WITH NEW CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY, SO THAT THE CONFLICT MAY BE RESOLVED.
17. THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS TO THE ARCHITECT WITHIN SIXTY (60) DAYS OF PROJECT START. IF SHOP DRAWINGS ARE NOT RECEIVED WITHIN THE SIXTY (60) DAY PERIOD, THE CONTRACTOR SHALL NOT SUBMIT ANY FURTHER PAY REQUESTS UNTIL SUCH DRAWINGS ARE RECEIVED.
18. THE CONTRACTOR SHALL ATTEND AT LEAST ONE (1) PRE-AWARDING & ONE (1) PRE-CONSTRUCTION MEETINGS PRIOR TO CONSTRUCTION 19. GUARANTEE ALL WORKMANSHIP, MATERIAL AND PERFORMANCE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE. (UNLESS OTHERWISE NOTED).

SPECIFICATIONS STUCCO SYSTEM

GENERAL
1.01 QUALITY ASSURANCE
A.APPLICATOR QUALIFICATIONS: APPLICATORS SPECIALIZING IN THE INSTALLATION OF EXTERIOR STUCCO SYSTEMS WITH A MINIMUM OF 5 YEARS EXPERIENCE IN WORK SIMILAR TO THAT REQUIRED BY THIS SECTION.
B.ALLOWABLE TOLERANCES: MAXIMUM DEVIATION FROM TRUE PLANE OF 1/4" IN 8' AS MEASURED BY STRAIGHT EDGE PLACED AT ANY LOCATION ON SURFACE.
C.JOB MOCK-UP, INCLUDING FINISH COAT SYSTEM 1. 4'x4' SAMPLE PANEL OF SAME MATERIAL ON SAME SUBSTRATES AS FOR PROJECT, 2. SHOW COLOR, TEXTURE, AND WORKMANSHIP OF FINISH WORK.
D.SINGLE SOURCE RESPONSIBILITY: ALL STUCCO BASE AND FINISH COAT MATERIAL SHALL BE FROM A SINGLE MANUFACTURING SOURCE, FACTORY BLENDED.
E.TYPICAL WALL PENETRATIONS SHALL HAVE ASTM-96 WATER PENETRATION TEST.

1.02 PROJECT DELIVERY, STORAGE, AND HANDLING
A.DELIVERY MANUFACTURED MATERIALS IN ORIGINAL UNOPENED PACKAGES OR CONTAINER, WITH MANUFACTURER'S LABLES INTACT AND LEGIBLE.
B.KEEP MATERIALS DRY, STORED OFF GROUND, UNDER COVER, AND AWAY FROM DAMP SURFACES.
C.REMOVE WET OR DETERIORATED MATERIALS FROM SITE.

1.03 JOB CONDITIONS
A.ENVIROMENTAL REQUIREMENTS:
1. DO NOT APPLY CEMENT STUCCO WHEN AMBIENT TEMPERATURE IS FORECAST TO BE LESS THAN 40°F WITHIN A 24 HOUR PERIOD FOLLOWING APPLICATIONS.
2. DO NOT APPLY CEMENT STUCCO WHEN AMBIENT TEMPERATURE IS ABOVE 100°F
3. PROTECT CEMENT STUCCO FROM UNEVEN AND EXCESSIVE EVAPORATION DURING HOT, DRY WEATHER.

PRODUCTS

2.01 MATERIALS
A.WEATHER RESISTIVE BARRIER: ONE LAYER OF GRADE "D" BUILDING FELT IS REQUIRED OVER ALL NEW SUBSTRATES OF EXTERIOR GRADE SHEATHINGS, TWO LAYERS USE OVER ALL WOOD BASE SUBSTRATES.
B.EXPANDED POLYSTYRENE: CONFORMING WITH ASTM C-578-87 TYPE 1, AS TESTED IN ACCORDANCE WITH ASTM E 84 FIRE TEST. SIZE, SHAPE AND THICKNESS ARE AS INDICATED ON DRAWINGS AND DETAILS. C.METAL ACCESSORIES: MANUFACTURER'S STANDARD STEEL PRODUCTS UNLESS OTHERWISE INDICATED AS ZINC ALLOY.

1. EXTERIOR COMPONENTS: HOT DIP GALVANIZED FINISH, MINIMUM OF A 17 GAUGE SELF-FURRED STUCCO NETTING.
2. CASING BEADS: GENERAL-PURPOSE TYPE WITH EXPANDED OR PERFORATED FLANGES.
3. CORNERITE: MANUFACTURER'S STANDARD PRE-FORMED INTERIOR CORNER REINFORCEMENT MADE FROM 2.5 LBS. SQUARE YARD OF DIAMOND MESH LATH.
4. EDGED CORNER BEADS: EXPANDED OR FLANGED TO SUITE APPLICATION.
5. NO. 10x BULL NOSE CORNER BEAD: FOR ROUNDED CORNER REINFORCEMENT.
6. CONTROL JOINTS: NO. XJ15-3 CONTROL JOINT WITH 1/4" SKIT, AND 1" GROUNDS, OR EQUAL. CONTROL JOINTS MUST BE WIRE TIED TO THE LATH AND NOT NAILED OR SCREWED TO SUBSTRATE.
7. EXPANSION JOINTS: NO. 40 ADJUSTABLE EXPANSION JOINT, FREE FLOATING WITH ADJUSTMENTS FROM 1/4" TO 5/8".
8. FASTENERS: (CMU APPLICATIONS) GALVANIZED STEEL OF FURRING TYPE AND LENGTH SUITABLE FOR AT LEAST 1/2" PENETRATION OF THE BRICK OR BLOCK SUBSTRATE.
9. FASTENERS: (STEEL OR WOOD STUDS APPLICATIONS) FURRING NAILS AND OR SCREWS, GALVANIZED STEEL OR TYPE AND LENGTH SUITABLE FOR AT LEAST A 1/4" PENETRATION OF THE STUD SYSTEM.
10. EXPANDED METAL LATH: 3.4 LB FOR USE AROUND ALL WINDOWS, DOORWAYS, SOFFITS, FASCIA, OPENINGS AND PARAPETS. D.FIBER-REINFORCED PORTLAND CEMENT STUCCO BASE MANUFACTURER'S STANDARD PRE-MIXED STUCCO BASECOATS CONSISTING OF PORTLAND CEMENT AND ALKALI-RESISTENT FIBERGLASS AND ACRYLIC FIBERS AND PROPRIETARY INGREDIENTS, WITH THE FOLLOWING ADDITIONAL REQUIREMENTS:

1. JOBSITE ADDED SAND MUST BE REQUIRED BY ASTM C-897
2. INDEPENDENT THIRD PARTY SAND TESTING MAY BE REQUIRED AT THE ARCHITECT/OWNER'S REQUEST.
3. SAND MUST BE PLACED ON A PROTECTIVE SURFACE AND COVERED WHEN NOT IN USE. E.LEVELING COAT: POLYMER-BASED, FACTORY-BLENDED OF CEMENT AND PROPRIETARY INGREDIENTS. F.PRIMER: 100% ACRYLIC BASED COATING TO PREPARE SURFACES FOR FINISH COAT. G.FINISH COAT: FACTORY BLENDED, 100% ACRYLIC POLYMER-BASED ELASTOMERIC FINISH, INTEGRALLY COLORED. FINISH TYPE, TEXTURE AND COLOR AS SELECTED BY ARCHITECT/OWNER. H.SAND: MOIST, LOOSE, AND COMPLYING WITH ALL REQUIREMENTS OF ASTM C-897. L.WATER: COOL, CLEAN, POTABLE AND FREE OF FOREIGN MATTER.

2.02 MIXES

- A.GENERAL:
1. ACCURATELY PROPORTION MATERIALS FOR EACH STUCCO BATCH WITH MEASURING DEVICES OF KNOWN VOLUME.
2. SIZE BATCHES FOR COMPLETE USE WITHIN MAXIMUM OF ONE HOUR AFTER MIXING.
3. RE-TEMPER STUCCO STIFFENED FROM EVAPORATION, BUT DO NOT USE OR RE-TEMPER PARTIALLY HYDRATED CEMENT STUCCO.
4. DO NOT USE FROZEN, CRACKED OR LUMPY MATERIALS, AND REMOVE SUCH MATERIALS FROM JOBSITE IMMEDIATELY.
5. MIX FACTORY PREPARED CEMENT STUCCO IN STRICT CONFORMANCE WITH MANUFACTURER'S WRITTEN INSTRUCTIONS.
6. WITHOLD 10% OF MIXING WATER UNTIL MIXING IS NEARLY COMPLETE, THEN ADD AS NEEDED TO PRODUCE DESIRED WORKING CONSISTENCY.

B.MECHANICAL MIXING:

1. CLEAN MIXER OF SET OR HARDENED MATERIALS BEFORE LOADING NEW BATCH.
2. MAINTAIN MIXER IN CONTINUOUS OPERATION WHILE ADDING MATERIALS.
3. CONFORM TO MIXING SEQUENCE, CYCLE OF OPERATIONS, AND TIME RECOMMENDED BY THE MANUFACTURER OF THE BASECOAT MIX MATERIALS.

C.HAND MIXING:

1. DO NOT HAND MIX STUCCO BASECOAT SYSTEM MATERIALS UNLESS AUTHORIZED BY ARCHITECT/ENGINEER.
2. USE WATERPROOF MIXING BOXES AND WATER BARRELS WHEN MIXING WITHIN BUILDING.
3. ADD AMOUNT OF WATER TO THE ACRYLIC FINISH COATS NEEDED TO ACHIEVE WORKABILITY. TO AVOID COLOR VARIATIONS, ADD AMOUNT OF WATER TO EACH PAIL OF FINISH. NO OTHER ADMXTURE ARE ALLOWED.

EXECUTION

3.01 INSPECTION
A.VERIFY THAT SURFACES RECEIVING PLASTER ARE FREE OF DUST, LOOSE PARTICLES, OIL AND OTHER DELETERIOUS MATERIALS WHICH WOULD AFFECT BOND OR PROPER HYDRATION OF CEMENT STUCCO. B.VERIFY THAT LATH IS TIGHT, PROPERLY SECURED AND OVELAPPED, AND THAT ALL ACCESSORIES ARE PROPERLY SET AND SECURED.
PRODCUTS

C.ISOLATION:
WHERE LATHING AND METAL SUPPORT SYSTEM ABUTS BUILDING STRUCTURE HORIZONTALLY, AND WHERE PARTITION WALL WORK ABUTS THE OVERHEAD STRUCTURE, ISOLATE WORK FROM STRUCTURE MOVEMENTS. INSTALL EXPANSION JOINTS TO ABSORB DEFLECTIONS BUT MAINTAIN LATERAL SUPPORT. FRAME BOTH SIDES OF EXPANSION AND CONTROL JOINTS SEPARATELY AND DO NOT BRIDGE JOINTS WITH FURRING OR LATHING. D.EXAMINE SUBSTRATES, GROUNDS AND ACCESSORIES TO INSURE THAT FINISHED STUCCO WORK WILL BE TRUE TO LINE, PLANE, LEVEL AND PLUMB. E.VERIFY THAT MASONRY AND CONCRETE SURFACES TO RECIEVE DERECT BOND APPLICATIONS OF STUCCO BASECOATS ARE ROUGH, FREE FROM RELEASE AGENTS OR OTHERWISE PROPERLY PREPARED TO PROVIDE BOND WITH BASE COAT SYSTEM. F.NOTIFY ARCHITECT/ENGINEER IN WRITING OF ANY CONDITIONS DETRIMENTAL TO PROPER AND SUCCESSFULL INSTALLATION OF STUCCO SYSTEM. DO NOT PROCEED WITH INSTALLATION UNTIL UNSATISFACTORY CONDITIONS ARE CORRECTED TO THE SATISFACTION OF ARCHITECT/ENGINEER AND INSTALLER.

3.02 APPLICATION

- A.GENERAL
1. APPLY STUCCO BASE COAT SYSTEMS IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS AND RECOMMENDATIONS.
2. INTERRUPT OR DELAY STUCCO APPLICATION ONLY AT JUNCTIONS OF STUCCO PLANES, AT OPENINGS, OR AT CONTROL JOINTS.
- B.SCRATCH COAT:
1. APPLY SCRATCH COAT TO A MINIMUM THICKNESS OF 3/8". USING SUFFICIENT TROWEL PRESSURE TO KEY STUCCO INTO LATH OR TO CREATE BOND TO SUBSTRATE AS APPLICABLE.
2. PRIOR TO INITIAL SET, SCRATCH HORIZONTALLY TO PROVIDE KEY FOR BOND OF BROWN COAT.
- C.BROWN COAT:
1. APPLY BROWN COAT TO AMINIMUM THICKNESS OF 3/8", USING TROWELPRESSURE TO KEY STUCCO INTO SCRATCH COAT.
2. ROD SURFACE TO TRUE PLANE.
3. TROWEL TO SMOOTH AND UNIFORM SURFACE TO RECEIVE ACRYLIC POLYMER FINISH COAT SYSTEM. 4. TOOL BROWN COAT TO PROVIDE A V-JOINT AT INTERSECTION OF STUCCO WITH FRAMES OR OTHER ITEMS OF METAL, WOOD, OR PLASTIC THAT ACT AS STUCCO GROUNDS.
- D.LEVELING COAT:
1. USING A STAINLESS STEEL TROWEL, APPLY BASE COAT AND ADHESIVE OVER THE BROWN COAT AT A THICKNESS OF 3/32 IN. AND TROWEL SMOOTH.
- E.FINISH COAT:
1. APPLY PRIMER BY BRUSH, ROLLER, OR SPRAY, ACCORDING TO MANUFACTURERS WRITTEN INSTRUCTIONS AND IN ORDER TO ACHIEVE SUFFICIENT COVERAGE AS REQUIRED. PROTECT ALL OTHER SURFACES.
2. APPLY EXTERIOR WALL FINISH COAT TO THICKNESS RECOMMENDED BY MANUFACTURER AND IN ORDER TO ACHIEVE TEXTURE INDICATED, USING SUFFICIENT TROWEL PRESSURE OR SPRAY VELOCITY TO BOND FINISH COAT TO BASE COAT.
3. APPLY EXTERIOR WALL FINISH IN NUMBER OF COATS AND CONSISTENCY REQUIRED TO ACHIEVE SPECIFIED TEXTURE.

3.03 CURING

A.MOIST-CURE SCRATCH COAT WITH CLEAN POTABLE WATER IN ACCORDANCE WITH ASTM C-926 AND/OR BUILDING CODES FOLLOWING INITIAL APPLICATION (UNLESS BROWN COAT IS APPLIED AFTER THE SCRATCH COAT HAS ACHIEVED SUFFICIENT RIGIDITY TO SUPPORT THE BROWN COAT.)
B.MOIST CURE BROWN COAT WITH CLEAN POTABLE WATER IN ACCORDANCE WITH ASTM C-926.
C.ALLOW BROWN COAT TO DRY THOROUGHLY TO A H OF 9.5 OF LOWER BEFORE APPLYING ACRYLIC PRIMERS OR FINISH COATS IF THE OPTIONAL LEVELING COAT AND REINFORCING COAT IS NOT APPLIED. D.IF OPTIONAL LEVELING COAT OR LEVELING REINFORCING COAT IS APPLIED, ALLOW TO CURE FOR 24 HOURS BEFORE APPLICATION OF PRIMER AND FINISH. (NOTE: CEMENTITIOUS FINISHES ARE NOT RECOMMENDED TO BE USED OVER THE OPTIONAL LEVELING COAT OR LEVELING AND REINFORCING COAT.
E.AIR CURE ACRYLIC BASE FINISH COATS ONLY, DO NOT WET CURE.

3.04 ADJUST AND CLEAN

- A.PATCHING:
1. UPON COMPLETION, POINT UP EXTERIOR WALL FINISH COAT AROUND TRIM AND OTHER LOCATIONS WHERE FINISH COAT TERMINATES OR MEETS DISSIMILAR MATERIALS.
2. CUT OUT AND REPLACE DEFECTIVE OR DAMAGED EXTERIOR WALL FINISH COAT.
3. MAINTENANCE KIT: SHALL INCLUDE ENOUGH MATERIALS TO REPAIR 100 SQUARE FEET; CONTAINERS OF LIQUIDS SHALL REMAIN UN-OPENED, ALL MATERIALS SHALL BE STORED PROPERLY.

GENERAL NOTES - FLOORS PLANS

A. DO NOT SCALE DRAWINGS. CONTACT THE ARCHITECT TO VERIFY OR CONFIRM UNKNOWN DIMENSIONS.

B. CONTRACTOR TO VERIFY WITH DIMENSIONS BEFORE COMMENCING ANY WORK CONTRACTOR TO INFORM ARCHITECT OF ANY DISCREPANCIES.

C. ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.

D. CONTRACTOR TO OBTAIN ALL PERMITS AND INSPECTIONS AND COMPLY WITH ALL CODES, LAWS, ORDINANCES, RULES AND REGULATIONS OF ALL PUBLIC AUTHORITIES (FEDERAL, STATE, OR LOCAL) GOVERNING THE WORK, THE MOST STRINGENT SHALL APPLY, ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENRAL, PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURERS INSTRUCTIONS AND SPECIFICATIONS.

E. ALL MANUFACTURED ARTICLES, MATERIALS AND EQUIPEMENT SHALL BE APPLIED, INSTALLED, CONNECTED, ERECTED, CLEANED AND CONDITIONED PER MANUFACTURER'S INSTRUCTIONS. IN CASE OF DIFFERENCES BETWEEN THE MANUFACTURER'S INSTRUCTION AND THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT BEFORE PROCEEDING. ALL OTHER WORK REQUIRED BUT NOT SPECIFIED IN THESE DOCUMENTS SHALL BE PERFORMED BY CONTRACTORS TO MEET THE GENERAL PRACTICING STANDARDS, BUILDING CODES AND MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.



AFFORDABLE COTTAGE
HOUSE COMMUNITY
211 E. 4TH ST.
ELOY, AZ 85131

PROJECT OWNER AND ADDRESS

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		

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GENERAL NOTES

Project number	Project Number
Date	10/27/2023 10:23:44 AM
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R-VALUE COMPUTATION NOTES

PRESCRIPTIVE METHOD: R-VALUE COMPUTATION (SKYLIGHTS MAY BE EXLUDED FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 - 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.)

* MAX FENESTRATION: U-FACTOR: 0.40 (0.65 FOR SKYLIGHTS)

* MAX GLAZED FENESTRATION: SHGC: 0.25

* MIN CEILING R-VALUE: 38

* MIN WALL R-VALUE: 13

* MIN FLOOR R-VALUE: 13

TREE DISPOSITION NOTES

TREE PROTECTION

THE FOLLOWING PROCEDURES ARE DEEMED APPROPRIATE IN THE SITUATIONS NOTED; HOWEVER, UNIQUE CIRCUMSTANCES MAY ALLOW MODIFICATIONS IF DEEMED NECESSARY BY THE CITY MANAGER OR HIS/HER DESIGNEE.

(1) PROHIBITED ACTIVITIES: THE FOLLOWING ACTIVITIES SHALL BE PROHIBITED WITHIN THE CRITICAL ROOT ZONE OF ANY PROTECTED TREE WHICH IS SUBJECT TO THE REQUIREMENTS OF THIS DIVISION.

a. MATERIAL STORAGE - NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.

b. EQUIPMENT CLEANING/LIQUID DISPOSAL - NO EQUIPMENT MAY BE CLEANED OR OTHER LIQUIDS DEPOSITED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE. THIS WOULD INCLUDE BUT NOT LIMITED TO, PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR OR OTHER MATERIALS.

c. TREE ATTACHMENTS - NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.

d. VEHICULAR TRAFFIC - NO VEHICLE, CONSTRUCTION EQUIPMENT OR PARKING IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF ANY TREE.

e. TRESPASSING - TRESSPASS INTO PROTECTIVE FENCING IS PROHIBITED.

(2) PRE-CONSTRUCTION ACTIVITIES: THE FOLLOWING PROCEDURES SHALL BE FOLLOWED PRIOR TO CONSTRUCTION.

a. TREE FLAGGING - ALL PROTECTED TREES TO BE REMOVED FROM THE CONSTRUCTION SITE SHALL BE FLAGGED WITH BRIGHT RED VINYL TAPE WRAPPED AROUND THE MAIN TRUNK AND PAINTED WITH AN ORANGE "X" AT A HEIGHT OF FOUR FEET (4') OR MORE. TAPE AND PAINT MUST BE VISIBLE TO WORKERS ON FOOT OR OPERATING HEAVY EQUIPMENT

b. PROTECTIVE FENCING - UNLESS OTHERWISE SPECIFIED IN THE APPLICABLE TREE DISPOSITION CONDITIONS, EACH PROTECTED TREE TO BE PRESERVED MUST BE FENCED DURING DEVELOPMENT OR PRE-DEVELOPMENT ACTIVITY.

1. FENCING CRITERIA - THE TREE DISPOSITION PLAN SHALL SPECIFY PROTECTIVE FENCING OF THE CRITICAL ROOT ZONE WHENEVER REASONABLY PRACTICABLE, UNLESS A DIFFERENT AREA IS PRESCRIBED IN ACCORDANCE WITH THE CRITERIA MANUAL. UNLESS THE TREE DISPOSITION CONDITIONS SPECIFY OTHERWISE:

- A SIX-FOOT OR HIGHER FENCE MUST SURROUND EACH PROTECTED TREE OR GROUP OF PROTECTED TREES, EFFECTIVELY PREVENTING PERSONS, MACHINERY, TRASH, MATERIAL AND OTHER ITEMS FROM OCCUPYING THE AREA WITHIN THE PROTECTIVE FENCING;

- THE FENCE MUST BE ABLE TO RESIST INTRUSIONS AND IMPACTS LIKELY TO BE ENCOUNTERED ON A CONSTRUCTION SITE;

- THE FENCE MAY INCORPORATE EXISTING FENCES OR WALLS AS WELL AS TEMPORARY FENCING; AND

- EACH FENCE MUST DIAPLAY A PROMINENT BILINGUAL WARNING SIGN AS SET FORTH IN THE CRITERIA MANUAL.

2. FENCE PERMIT - A SEPARATE FENCE PERMIT IS NOT REQUIRED FOR CONSTRUCTION OF A FENCE UNDER THIS SECTION, IF A BUILDING PERMIT FOR THE WORK IS IN EFFECT AND A TREE DISPOSITION PLAN HAD BEEN APPROVED.

3. TRASH, STORAGE PROHIBITED - IT SHALL VE UNLAWFUL FOR ANY PERSON TO USE THE AREA WITHING THE PROTECTIVE FENCEING, REQUIRED BY THIS SECTION, FOR TRASH DISPOSAL, STORAGE, VEHICLE PARKING OR ANY OTHER USE THAT COULD ADVERSELY AFFECT TREE ROOTS.

c. TRUNK PROTECTION-IN SITUATIONS WHERE A PROTECTED TREE REMAINS WITHIN SIX FEET (6') OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCIRCLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE.

d. CONSTRUCTION PRUNING-IN CASES WHERE A TREE HAS A LOW CANOPY OR LIMBS MAY BE BROKEN DURING THE COURSE OF CONSTRUCTION, THE OBTRUSIVE LIMB(S) MAY BE CUT. TREES MUST BE PRUNED ACCORDING TO THE SPECIFICATIONS SET FORTH BY ANSI A300.

e. MULCH-IN CRITICAL ROOT ZONE AREAS WHERE VEHICLES OR EQUIPMENT MUST PASS, THE ADDITION OF SIX INCHES (6") OF SHREDDED MULCH OR WOOD CHIPS COVERED BY A SHEET OF THREE-QUARTER-INCH PLYWOOD IS NECESSARY TO REDUCE THE RISK OF SEVERE SOIL COMPACTION. THE MULCH AND PLYWOOD SHALL BE SPREAD ON-SITE OR REMOVED FOLLOWING THE COMPLETION OF THE PROJECT.

f. WATERING-TREES WHICH ARE BEING PROTECTED SHOULD RECEIVE SUPPLEMENTAL WATER DURING TIMES OF DROUGHT OR LOW RAINFALL. AS A RULE OF THUMB A WEEKLY APPLICATION OF APPROXIMATELY FIFTY (50) GALLONS OF WATER PER ONE-INCH DIAMETER APPLIED SLOWLY TO THE ROOT ZONE WILL BE SUFFICIENT.

(3)IMPROVEMENT WITHIN THE CRITICAL ROOT ZONE OF A PROTECTED TREE: DESIGN CONSTRAINTS DICTATE THAT TREES SLATED FOR PRESERVATION HAVE SOME ENCROACHMENT ON THEIR CRITICAL ROOT ZONE. THE FOLLOWING IS THE MINIMUM DESIGN CRITERIA WHICH IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF A PROTECTED TREE. DEVELOPMENT EXCEEDING THE CRITERIA WOULD PUT THE TREE AT RISK AND THEREFORE IT COULD NO LONGER BE CONSIDERED A PROTECTED TREE. IN SUCH A CASE, REPLACEMENT TREES SHALL BE REQUIRED.

a. GRADE CHANGES-IN THE EVENT THAT GRADE CHANGES MUST BE MADE AROUND A PROTECTED TREE OR GROUP OF TREES, THE FOLLOWING SHALL BE IMPLEMENTED IN ORDER TO MAINTAIN OXYGEN AND WATER EXCHANGE WITHIN THE TREE'S CRITICAL ROOT ZONE.

1. A MINIMUM OF SEVENTY-FIVE (75) PERCENT OF THE CRITICAL ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE WITH NATURAL GROUND COVER OR LANDSCAPING FOR THE TREE TO BE CONSIDERED A PROTECTED TREE.

2. NO CUT OR FILL GREATER THAN TWO (2) INCHES SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN ONE-HALF OF THE RADIUS OF THE CRITICAL ROOT ZONE RADIUS DISTANCE.

3. INCREASE GRADE: SOIL GRADE WITHIN THE CRITICAL ROOT ZONE OF TREES SHOULD NOT BE INCREASED MORE THAN TWO (2)TO THREE (3) INCHES USING CLEAN BANK SAND. ANY INCREASE ABOVE THIS CAN BE DETRIMENTAL TO THE TREE. ANY ATTEMPTS TO PROTECT TREES FROM THE DETRIMENTAL EFFECTS OF INCREASED GRADE MUST BE APPROVED BY THE CITY MANAGER OR HIS/HER DESIGNEE.

b. BORING OF UTILITIES-BORING MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CRITICAL ROOT ZONE AND SHALL BE A MINIMUM DEPTH OF FORTY-EIGHT (48) INCHES.

c. TRENCHING-IRRIGATION SYSTEMS SHALL BE DESIGNED TO AVOID TRENCHING ACROSS THE CRITICAL ROOT ZONE OF ANY LARGE TREE.

d. PAVING-A MAXIMUM OF TWENTY-FIVE (25) PERCENT OF THE CRITICAL ROOT ZONE OF A PROTECTED TREE MAY BE COVERED WITH IMPERVIOUS MATERIAL. THE PAVEMENT AND THE CUT AND FILL FOR THE PAVEMENT SHALL NOT EXCEED ONE-HALF OF THE CRITICAL ROOT ZONE RADIUS DISTANCE.

B

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PROJECT OWNER AND ADDRESS

NO.	DESCRIPTION	DATE
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GENERAL NOTES

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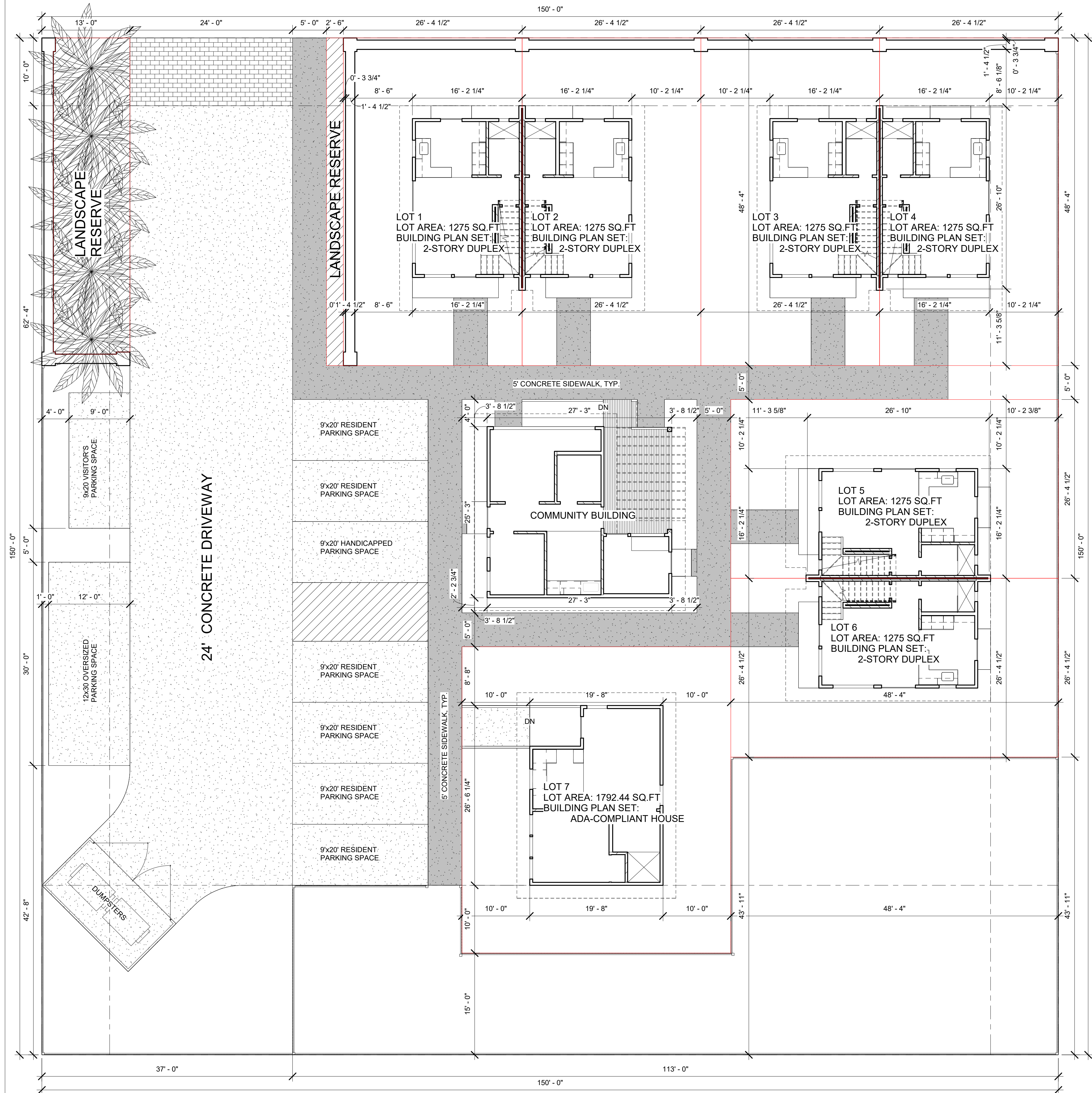
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4TH STREET



- GENERAL NOTES
- ALL DRAWINGS HERE REFERENCES THE 2018 INTERNATIONAL RESIDENTIAL CODE (W/AMENDMENTS) AND THE 2018 INTERNATIONAL BUILDING CODE (W/AMENDMENTS).
- DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE, CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB.
 - ALL WRITTEN NOTES ON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWING.
 - ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM OF 5.7 SQ OF NET CLEAR.
 - ALL WINDOWS HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.
 - HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FIRST FLOOR LEVEL (AT THE STAIRWELL).
 - OPENINGS 0 OR 1 HOUR FIRE RATED EXTERIOR WALL, SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2018.
 - PENETRATION INTO OUR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2018.
 - BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
 - PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (SECT. R308.4)
 - GLAZING IN TUB AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
 - GLAZING INSIDE HINGED DOORS EXCEPT JALOUSIES.
 - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR
 - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
 - ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2018 SECT. R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIFE LOAD.
 - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT.316.2)
 - EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FORM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".
 - ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL. U.O.N. ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2018 CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED.
 - A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW.
 - CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE), SEE IRC 2018 SECT. R1001.6.
 - CHIMNEY PIPE(S) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
 - PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2018 CHAPTER 10.
 - ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL.
 - DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.
 - FINISHED FLOOR ELEVATION IS TO BE A MINIMUM OF 12" ABOVE THE NEAREST SANITARY SEWER MANHOLE RIM.
 - PROPOSED DRIVEWAYS NEED TO BE OF CONSISTENT WIDTH WITHIN THE RIGHT OF WAY AND CAN TAPER OR FLARE INTO DESIRED WIDTH INSIDE THE PROPERTY LINE. THE DRIVEWAY WIDTH AND RADIUS IN THE RIGER OF WAY MUST COMPLY WITH CHAPTER 15, TABLE 15.08.01. NO DRIVEWAY RADIUS SHALL ENCR OACH ON ABUTTING PROPERTY OR CORNER RADIUS (COH IDM CHAPTER 15, SEC. 15.08.C-1 (a TO g)).
 - ANY EXISTING DRIVEWAY NOT PROVIDING ACCESS TO THE PROPERTY MUST BE REMOVED AND REPLACED WITH NEW CURB AND GUTTER OR REGRADE THE OPEN DITCH WITH SOD/GRASS FOR POSITIVE DRAINAGE FLOW (BASED ON THE TYPE OF STREET).

LEGAL DESCRIPTION	
LOT(S): 13, 14 AND 15 BLOCK: 65 SUBDIVISION: COTTON CITY (PROPER) COUNTY: PINAL COUNTY, ARIZONA	
LOTS 1 THROUGH 6 Lot Area: 1,275 SQ.FT Total A/C Area: 752 SQ.FT Total Covered Porches: 50 SQ.FT Total Landscapes: N/A Total Project Area: 802 SQ.FT	
Proposed Building Footprint: 427 SQ.FT Driveways/Walkways: 50 SQ.FT Total Impervious Surface: 477 SQ.FT TOTAL IMPERVIOUS: 37.4%	
LOT 7 Lot Area: 1,792.44 SQ.FT Total A/C Area: 477 SQ.FT Total Covered Porches: 45 SQ.FT Total Landscapes: N/A Total Project Area: 522 SQ.FT	
Proposed Building Footprint: 522 SQ.FT Driveways/Walkways: 63 SQ.FT Total Impervious Surface: 585 SQ.FT TOTAL IMPERVIOUS: 32.64%	
COMMUNITY BUILDING AND PUBLIC AREAS Lot Area: 13,058.81 SQ.FT Total A/C Area: 530 SQ.FT Total Covered Porches: 157 SQ.FT Total Landscapes: N/A Total Project Area: 530 SQ.FT	
Proposed Building Footprint: 530 SQ.FT Driveways/Walkways: 6,779 SQ.FT Total Impervious Surface: 7,309 SQ.FT TOTAL IMPERVIOUS: 55.97%	

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**AFFORDABLE COTTAGE
HOUSE COMMUNITY**

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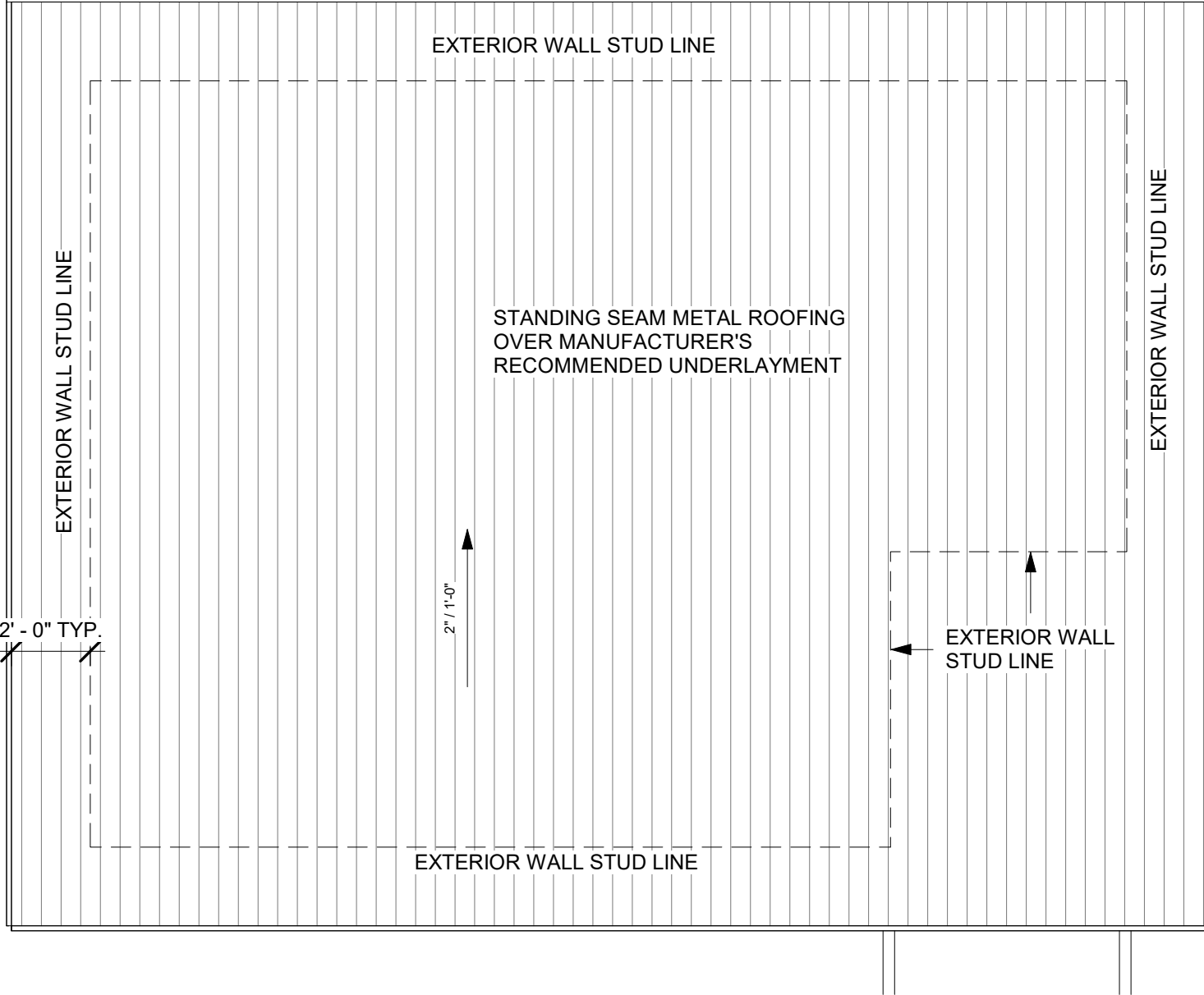
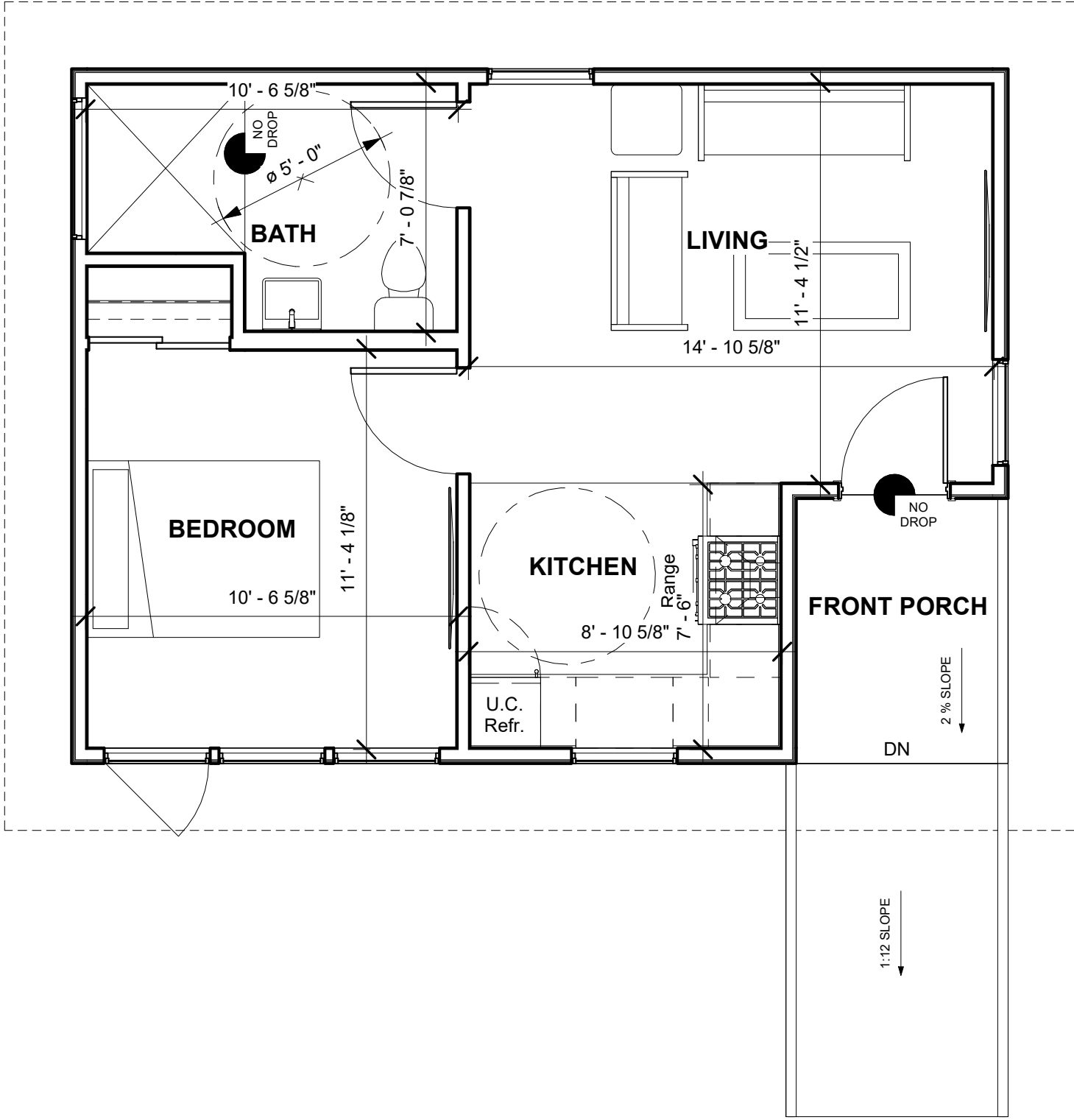
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SITE PLAN

Project number	Project Number
Date	10/27/2023 10:23:33 AM
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Scale 1/8" = 1'-0"

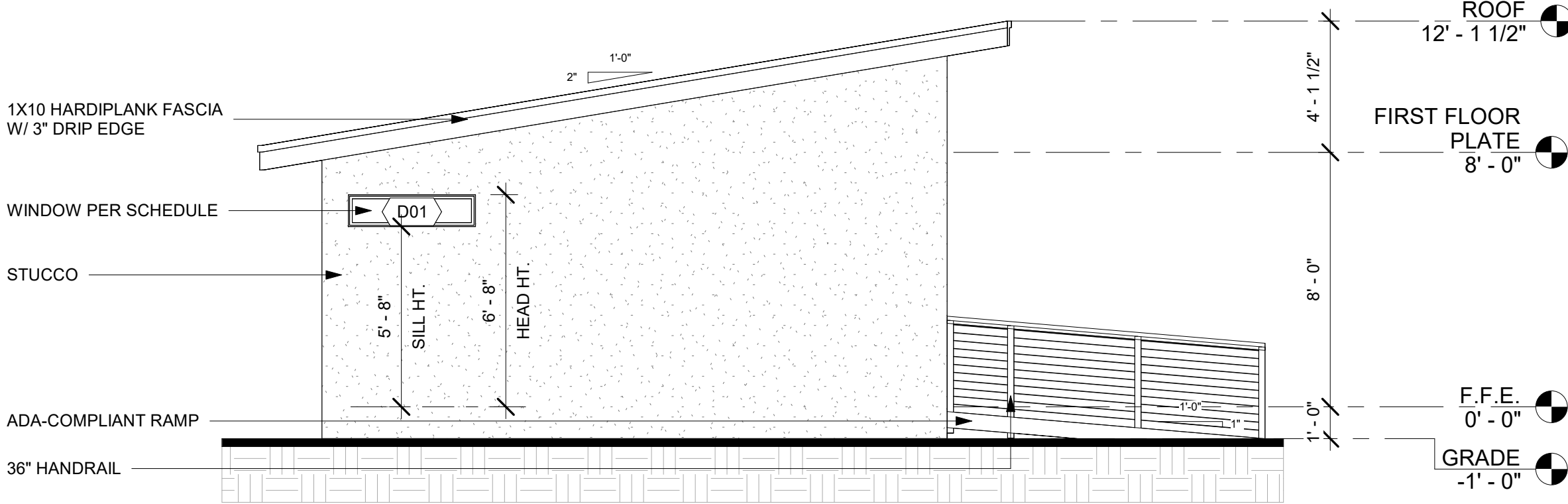
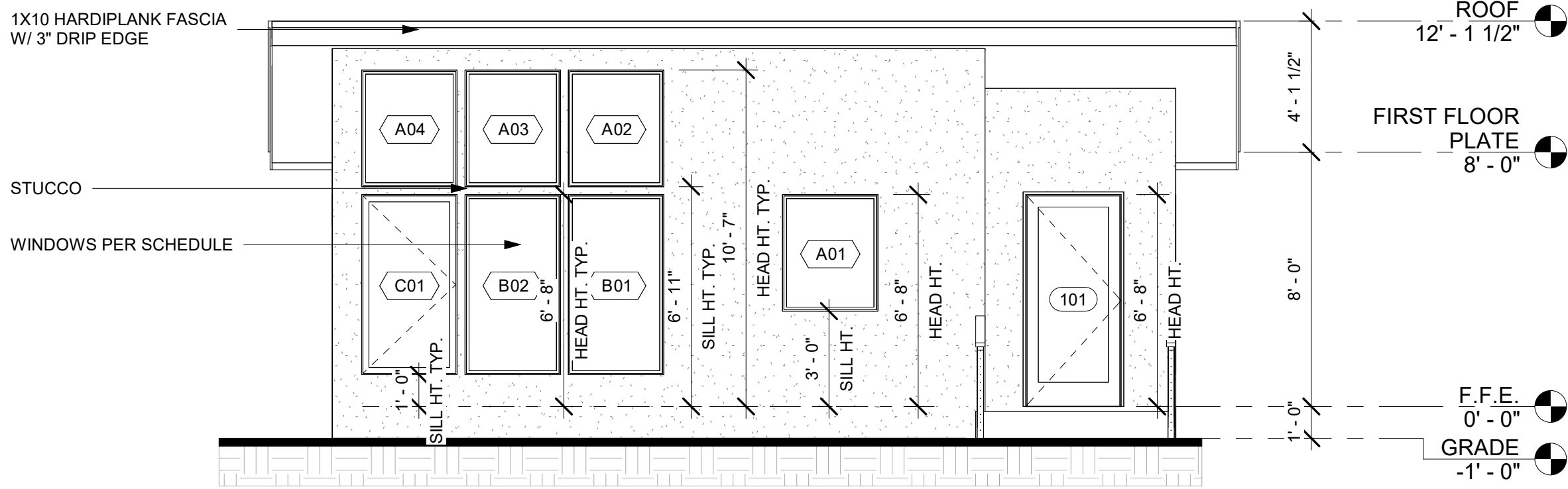


- GENERAL NOTES**
1. DO NOT SCALE DRAWINGS WRITTEN DIMENSIONS TAKE PRECEDENCE. CONTRACTOR TO VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS OF THE JOB
 2. ALL WRITTEN NOTE SON THESE DRAWINGS SHALL TAKE PRECEDENCE OVER THE MINIMUM STANDARD NOTES DETAILED ON THE LAST SHEET OF THESE DRAWINGS
 3. BUILDER TO APPROVE LOCATION OF HOUSE ON LOT, AND VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING AND SETBACK LINES, AND TO OBSERVE ALL DEED RESTRICTIONS PRIOR TO CONSTRUCTION.
 4. ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM OF 5.7 SQ OF NET CLEAR.
 5. ALL PRE-FAB FIREPLACES TO BE BUILT AND INSTALLED PER 2018 IRC BCT 3102 AND BE UL AND I.C.B.O. A COPY OF THE MANUFACTURED INSTALLATION MANUAL WILL BE AVAILABLE IN SITE FOR INSPECTOR REVIEW.
 6. STAIRWAYS SHALL COMPLY WITH 2018 IRC MINIMUM WIDTH BETWEEN HANDRAILS SHALL BE 30"
 7. HANDRAILS TO BE 34" TO 38" ABOVE NOISING OF TREADS.
 8. GUARDRAILS TO BE 42" ABOVE FINISHED FLOOR WITH BALUSTERS AT 4" O.C. MAX NEWEL POST SHALL NOT BE LOCATED ABOVE FIRST TREAD.
 9. HANDGRIPING PORTION OF HANDRAIL SHALL NOT BE LESS THAN 11/4" NOT MORE THAN 2" IN CROSS SECTION.
 10. PROVIDE UNDERSIDE OF ALL STAIRWELLS WITH 5/8" TYPE "X" FIRE RATED GYPSUM WHEN UNDERSIDE CAN BE CLOSED OFF.
 11. SMOKE DETECTION REQUIRE 100 VOLT CONNECTION TO HOUSE WIRING WITH BATTERY BACKUP.
 12. ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (NOT SANITARY SEWER LINE).
 13. PROVIDE PLUMBING ACCESS PANEL AT ALL TUBS BY PLUMBING CODE CHAPTER 4 SECTIONS 405, 405.8.
 14. ALL GLASS AT TUBS AND SHOWERS SHALL BE TEMPERED SAFETY GLASS.
 15. PROVIDE VENTILATION AT ALL BATHS AND UTILITY ROOMS THROUGH NATURALLY OR MECHANICAL MEANS.
 16. ATTIC ACCESS IS PROVIDED ON PLANS TO SERVICE MECHANICAL EQUIPMENT AND LIMITED LIGHT STORAGE BUT IN NO CASE SHALL THE COMBINED DECKED ATTIC AREAS EXCEED 500 SQ.FT.
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 18. CHIMNEYS TO BE MINIMUM 24" ABOVE ANY ROOF LINE.
 19. ACCESS APPLIANCES (CLEARANCE) M1305.1.3 2018 IRC. A LEVEL SURFACE SPACE AT LEAST 30 INCHES DEEP AND 30 INCHES WIDE SHALL BE PRESENT ALONG ALL SIDES OF THE APPLIANCE WHERE ACCESS IS REQUIRED.
 20. THE GARAGE SHALL BE SEPARATED FROM THE RESIDENCE AND ITS ATTIC AREA BY NOT LESS THAN 1/2-INCH GYPSUM BOARD APPLIED TO THE GARAGE SIDE AND 5/8" TYPE X GYPSUM BOARD WHERE THE SEPARATION IS A FLOOR/CEILING ASSEMBLY.
 21. RANGE HOODS SHALL DISCHARGE TO THE OUTDOORS THROUGH A SINGLE-WALL DUCT. THE DUCT SERVING THE HOOD SHALL HAVE A SMOOTH INTERIOR SURFACE, SHALL BE AIRTIGHT AND SHALL BE EQUIPPED WITH A BACKDRAFT DAMPER. DUCTS SERVING RANGE HOODS SHALL NOT TERMINATE IN AN ATTIC OR CRAWLSPACE OR AREAS INSIDE THE BUILDING.

AREA SCHEDULE		
Name	Level	Area
LIVING AREA	F.F.E.	368 SF
FRONT PORCH	F.F.E.	32 SF
TOTAL AREA		400 SF

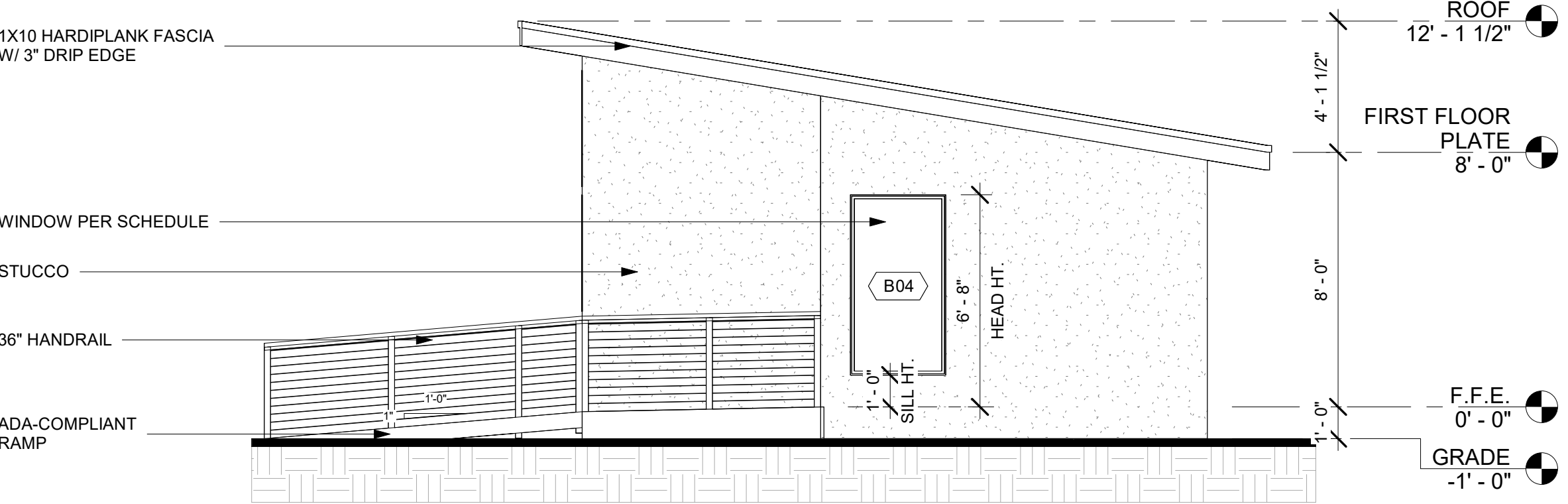
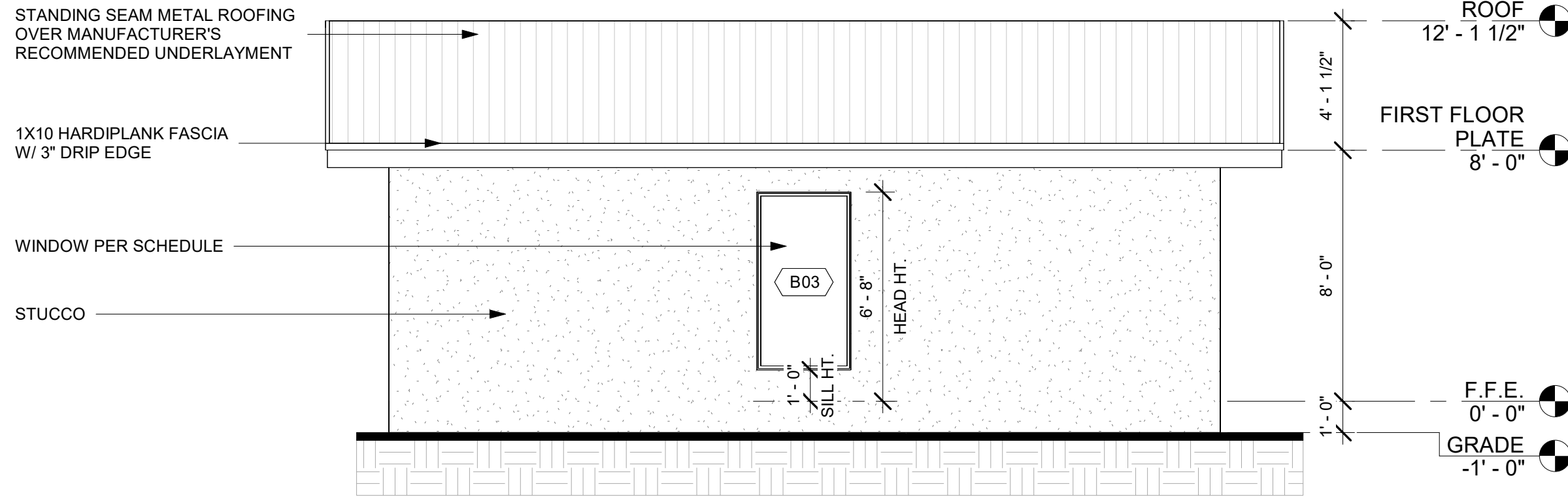
1 FLOOR PLAN
1/4" = 1'-0"

2 ROOF PLAN
1/4" = 1'-0"



3 FRONT ELEVATION
1/4" = 1'-0"

4 LEFT ELEVATION
1/4" = 1'-0"



5 REAR ELEVATION
1/4" = 1'-0"

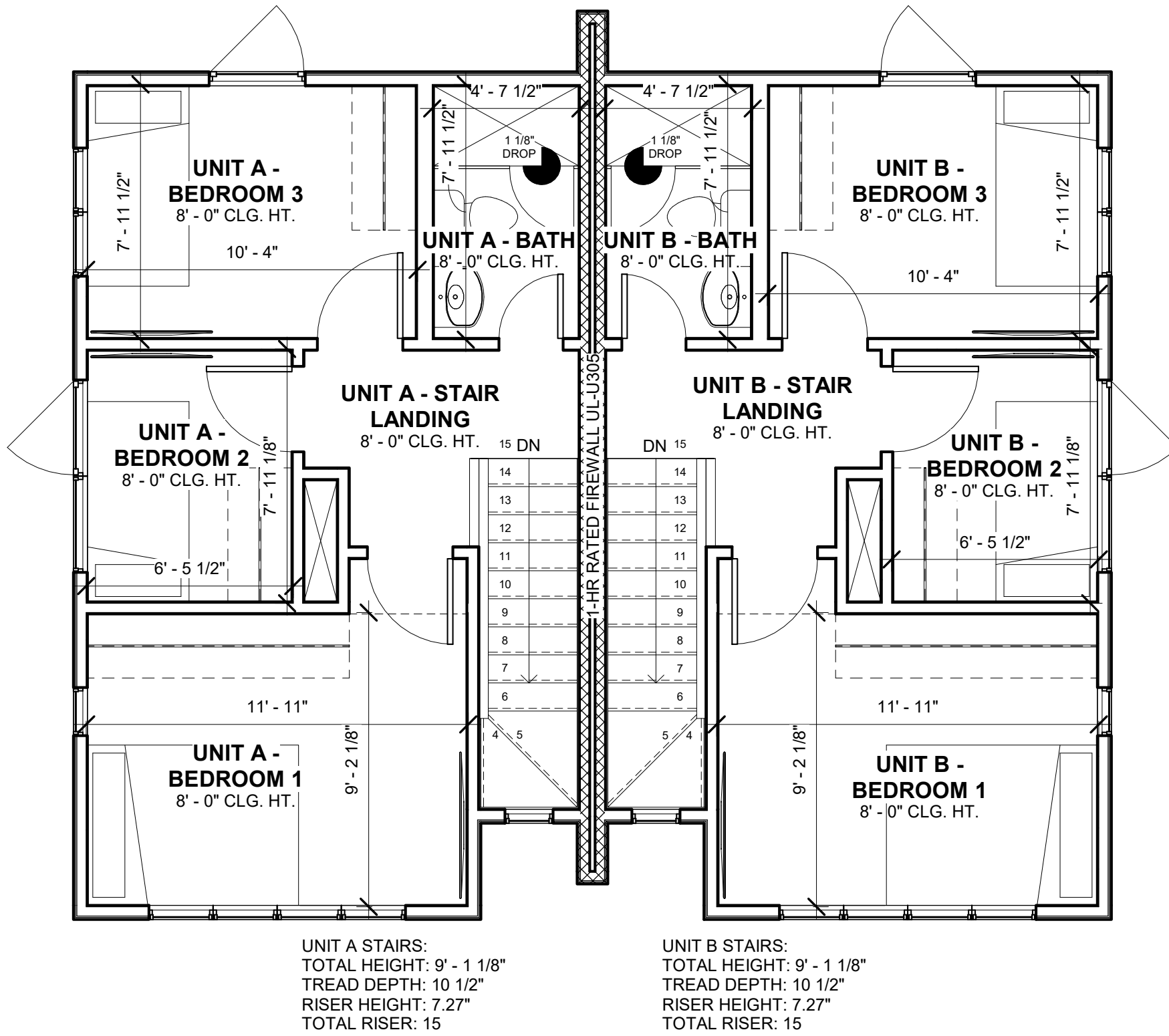
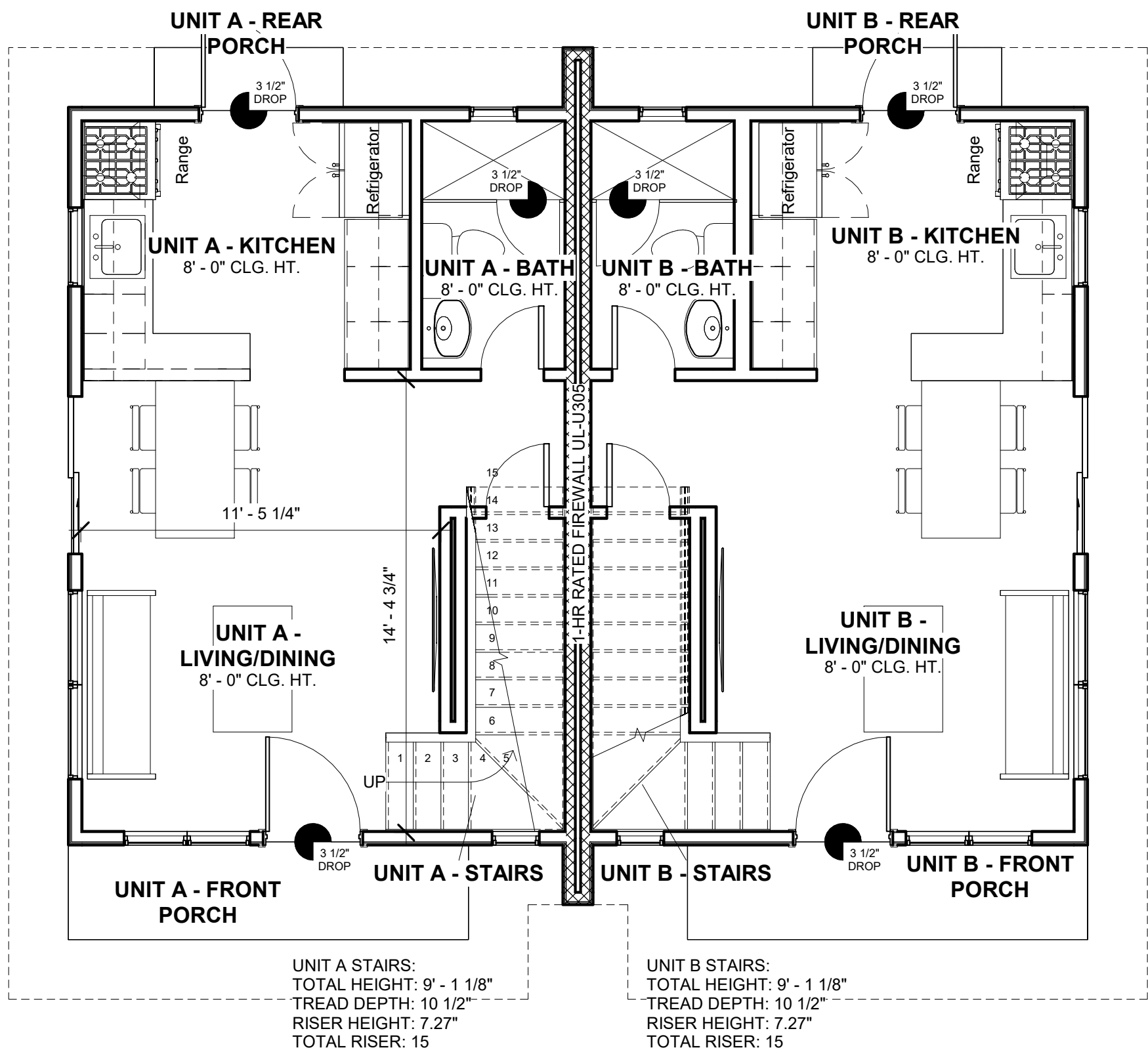
6 RIGHT ELEVATION
1/4" = 1'-0"

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		

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FLOOR PLANS & ELEVATIONS - ADA-COMPLIANT HOUSE

Project number	Project Number
Date	10/26/2023 4:38:40 PM
Drawn by	Author
Checked by	Checker

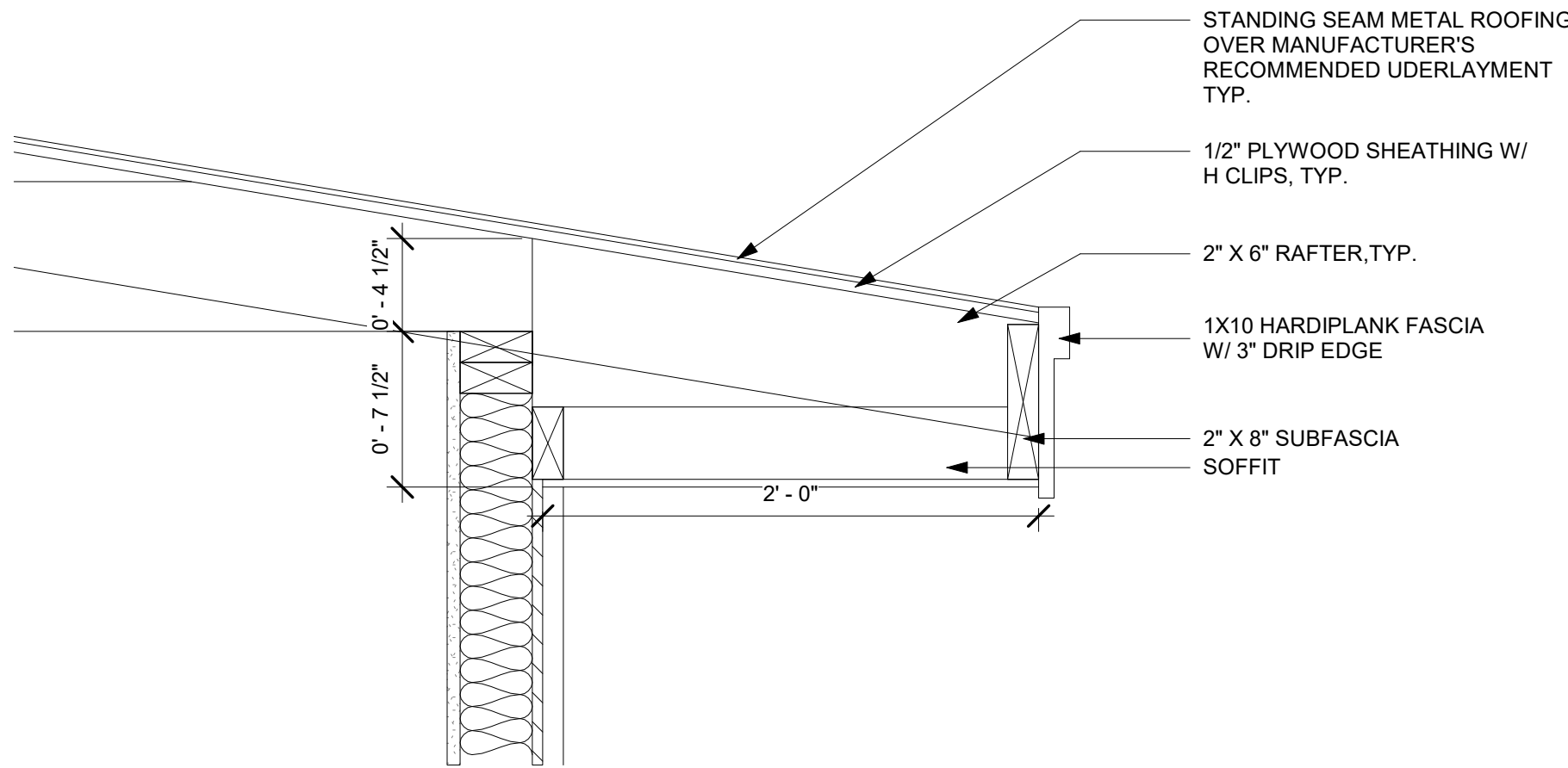
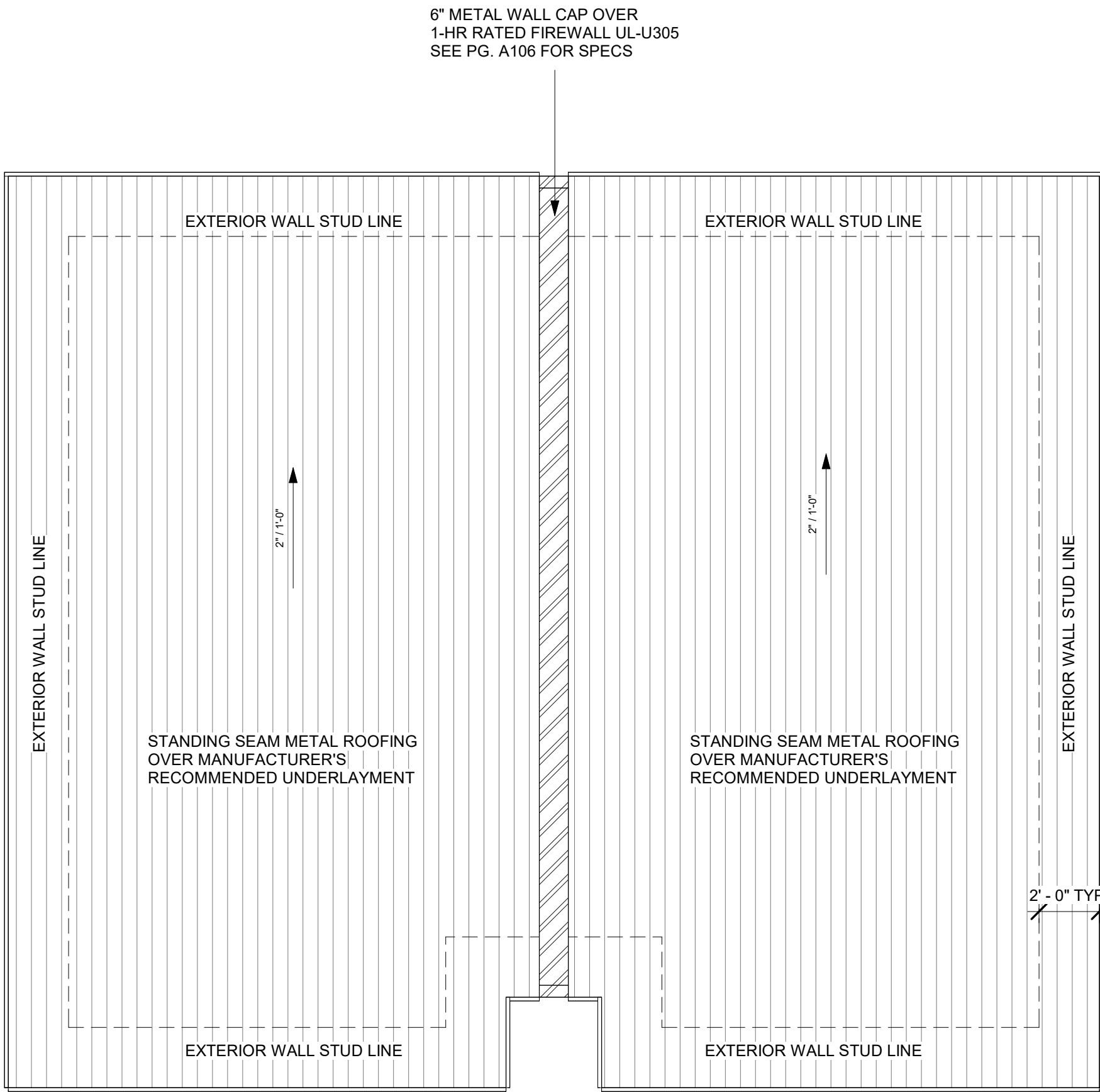


- GENERAL NOTES
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 - BUILDER TO APPROVE LOCATION OF HOUSE ON LOT. AND VERIFY ALL UTILITY LOCATIONS, ALL EASEMENTS, BUILDING AND SETBACK LINES, AND TO OBSERVE ALL DEED RESTRICTIONS PRIOR TO CONSTRUCTION.
 - ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM OF 5.7 SQ OF NET CLEAR.
 - ALL PRE-FAB FIREPLACES TO BE BUILT AND INSTALLED PER 2018 IRC BCT 3102 AND BE UL AND I.C.B.O. A COPY OF THE MANUFACTURED INSTALLATION MANUAL WILL BE AVAILABLE IN SITE FOR INSPECTOR REVIEW.
 - STAIRWAYS SHALL COMPLY WITH 2015 IRC MINIMUM WIDTH BETWEEN HANDRAILS SHALL BE 30".
 - HANDRAILS TO BE 34" TO 38" ABOVE NOISING OF TREDS.
 - GUARDRAILS TO BE 42" ABOVE FINISHED FLOOR WITH BALUSTERS AT 4" O.C. MAX NEWEL POST SHALL NOT BE LOCATED ABOVE FIRST TREAD.
 - HANDGRIPING PORTION OF HANDRAIL SHALL NOT BE LESS THAN 1 1/4" NOT MORE THAN 2" IN CROSS SECTION.
 - PROVIDE UNDERSIDE OF ALL STAIRWELLS WITH 5/8" TYPE "X" FIRE RATED GYPSUM WHEN UNDERSIDE CAN BE CLOSED OFF.
 - SMOKE DETECTION REQUIRE 100 VOLT CONNECTION TO HOUSE WIRING WITH BATTERY BACKUP.
 - ALL FLOOR DRAINS TO HAVE OVERFLOW PAN WITH RELIEF LINE TO OUTSIDE OR STORM SEWER (NOT SANITARY SEWER LINE).
 - PROVIDE PLUMBING ACCESS PANEL AT ALL TUBS BY PLUMBING CODE CHAPTER 4 SECTIONS 405, 405.8.
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AREA SCHEDULE (PER UNIT)		
Name	Level	Area
FIRST FLOOR	F.F.E.	377 SF
FRONT PORCH	F.F.E.	38 SF
REAR PORCH	F.F.E.	11 SF
SECOND FLOOR	SECOND FLOOR	375 SF
Grand total: 4		802 SF

1 FIRST FLOOR PLAN
1/4" = 1'-0"

2 SECOND FLOOR PLAN
1/4" = 1'-0"



4 2/12 SLOPE W/ 2'-0" O.H.
1 1/2" = 1'-0"

3 ROOF PLAN
1/4" = 1'-0"

info@ingeniousdesigns.com
832-978-5179

PROJECT OWNER AND ADDRESS

**AFFORDABLE COTTAGE
HOUSE COMMUNITY**

211 E. 4TH ST.
ELOY, AZ 85131

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		

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**FLOOR & ROOF
PLANS - 2-STORY
DUPLEX**

Project number	Project Number
Date	10/26/2023 4:33:54 PM
Drawn by	Author
Checked by	Checker

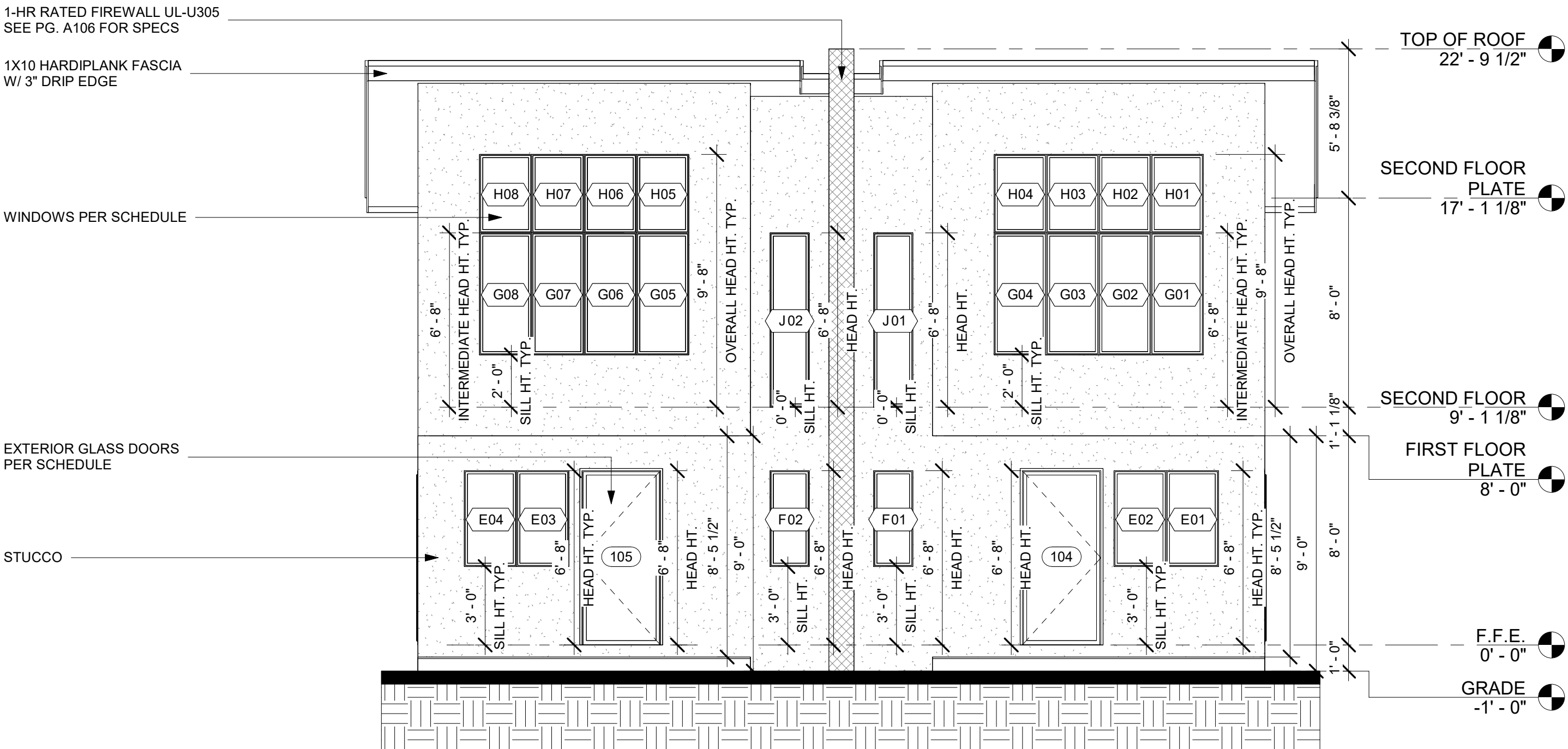
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Scale	As indicated
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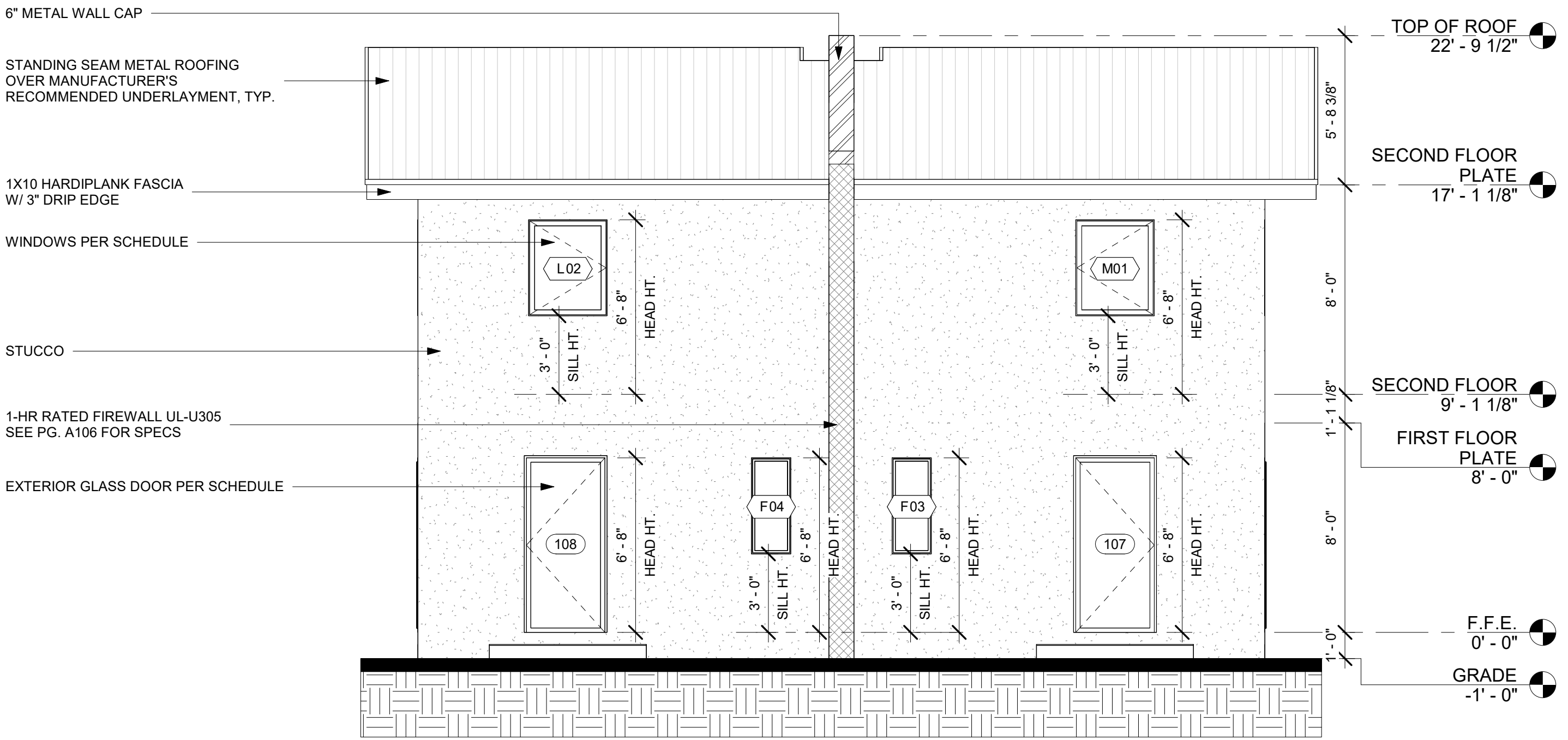
GENERAL NOTES

ALL DRAWINGS HERE REFERENCES THE 2018 INTERNATIONAL RESIDENTIAL CODE (W/AMENDMENTS) AND THE 2018 INTERNATIONAL BUILDING CODE (W/AMENDMENTS).

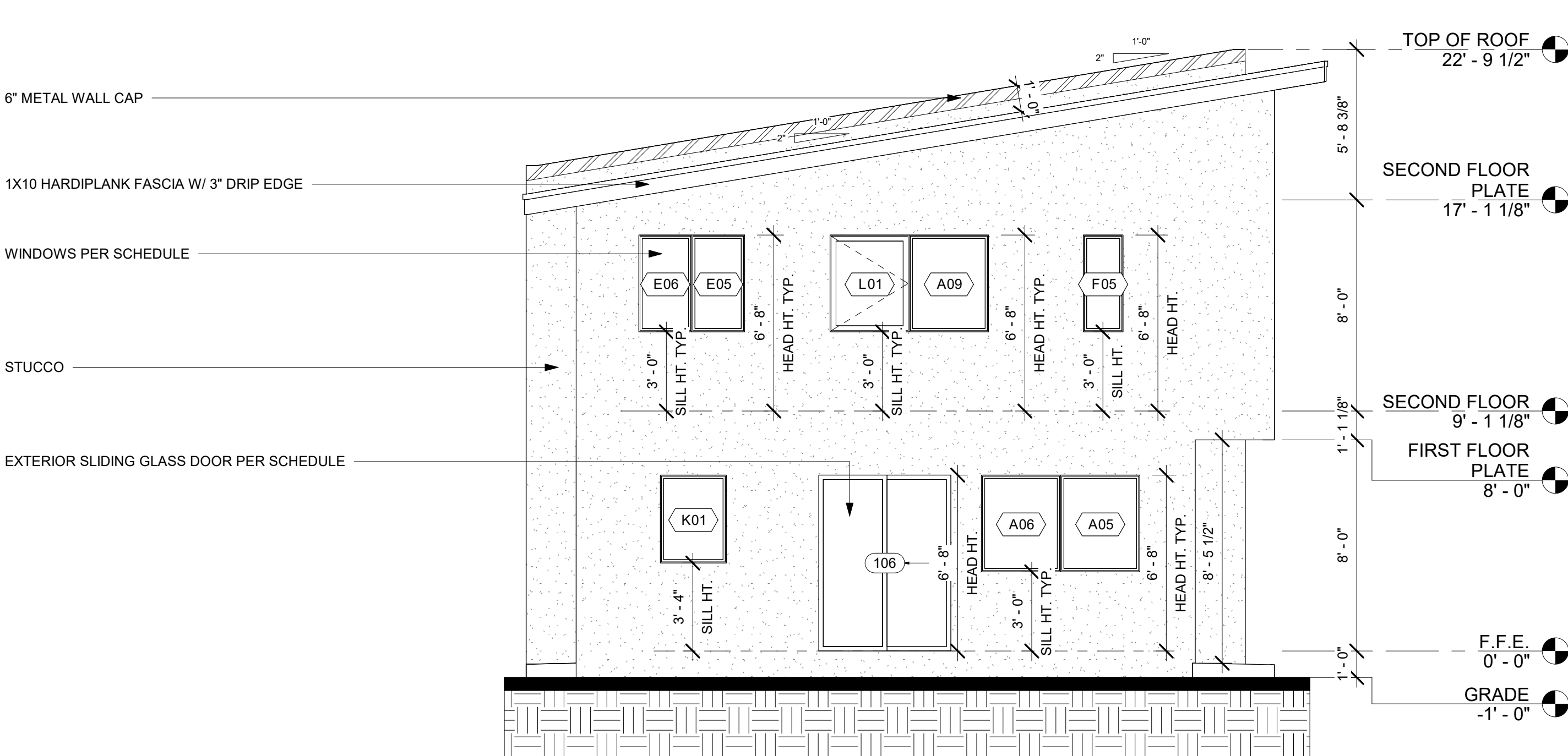
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- ALL BEDROOM WINDOW SILLS TO BE A MAXIMUM OF 44" ABOVE FINISHED FLOOR MINIMUM OPENINGS ARE 24" HIGH, 20" WIDE AND MINIMUM OF 5.7 SQ OF NET CLEAR.
- ALL WINDOWS HEAD HEIGHTS TAKEN FROM IMMEDIATE INTERIOR FLOOR LEVEL.
- HEAD HEIGHTS IN STAIRWELLS TAKEN FROM FIRST FLOOR LEVEL (AT THE STAIRWELL).
- OPENINGS 0 OR 1 HOUR FIRE RATED EXTERIOR WALL, SHALL BE PROTECTED WITH AN ASSEMBLY HAVING A FIRE-PROTECTION RATING OF NOT LESS THAN 3/4 HOUR. SEE IRC 2018.
- PENETRATION INTO OUR THROUGH FIRE-RATED WALLS SHALL CONFORM WITH IRC 2018.
- BUILDER TO DETERMINE FINAL MATERIAL AND PROVIDE APPROPRIATE TEST CRITERIA TO THE LOCAL AUTHORITY.
- PROVIDE SAFETY GLAZING IN THESE HAZARDOUS LOCATIONS (SECT. R308.4)
 - GLAZING IN TUB AND SHOWERS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" FROM ANY WALKING SURFACE.
 - GLAZING INSIDE HINGED DOORS EXCEPT JALOUSIES.
 - GLAZING WITHIN 24" FROM A DOOR AND BOTTOM OF PANE IS LESS THAN 60" FROM THE FLOOR.
 - EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQ. FT.
 - BOTTOM EDGE OF A PANE IS LESS THAN 18" FROM FLOOR
 - TOP EDGE OF A PANE IS GREATER THAN 36" FROM FLOOR (WHEN BOTTOM OF THIS SAME PANE IS LOWER THAN 36" FROM THE FLOOR).
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY OF THE GLAZING.
 - GLAZING IN STAIRWELLS WHERE THE BOTTOM EDGE OF A PANE IS LESS THAN 60" VERTICALLY FROM ANY NOSING, AND 60" HORIZONTALLY FROM ANY STAIR NOSING, WHERE THE EDGE OF PANE IS LESS THAN 60" ABOVE THE FLOOR.
- ALL RAILING (WOOD, METAL OR PRECAST) TO HAVE 4" MAXIMUM SPACING BETWEEN BALUSTERS (SPINDLES) AND TO CONFORM WITH IRC 2018 SECT. R316. HANDRAILS AND GUARDRAILS SHALL BE DESIGNED FOR MINIMUM LIVE LOAD.
 - INTERIOR GUARDS SHALL NOT BE CONSTRUCTED WITH HORIZONTAL RAILS OR OTHER ORNAMENTAL PATTERN THAT RESULTS IN A LADDER EFFECT (SECT.316.2)
 - EXTERIOR GUARDS TO HAVE RAILING NO LOWER THAN 42" FROM FINISHED FLOOR, WITH NO LESS THAN 36" DISTANCE FORM TOP OF GUARD TO BOTTOM OF LOWEST RUNNER. MAXIMUM UNSUPPORTED SPAN OF LOWEST RUNNER SHALL BE 6'-0".
- ROOF PLATE HEIGHTS TAKEN FROM NOMINAL (FIRST) FLOOR (SLAB) LEVEL. U.O.N. ALL BRICK OR PREFAB FIREPLACES TO BE BUILT AND INSTALLED PER IRC 2018 CHAPTER 10, AND BE U.L. AND I.C.B.O. APPROVED.
- A COPY OF THE MANUFACTURER INSTALLATION MANUAL WILL BE AVAILABLE ON SITE FOR INSPECTOR REVIEW.
- CHIMNEYS TO BE A MINIMUM 2'-0" ABOVE ANY ROOF LINE WITHIN A 10'-0" RADIUS, OR 3'-0" FROM ANY ROOF LINE (RIDGE), SEE IRC 2018 SECT. R1001.6.
- CHIMNEY PIPE(S) SHALL EXIT THROUGH THE ROOF DECKING INSIDE ALL BUILDING AND SETBACK LINES.
- PROVIDE SPARK ARRESTORS AT CHIMNEY. MESH TO HAVE MAXIMUM GAP OF 1/2", MINIMUM GAP OF 3/8" AND TO COMPLY WITH IRC 2018 CHAPTER 10.
- ALL GAS APPLIANCE VENTS TO EXIT AN EXTERIOR WALL LOCATED NO LESS THAN 4'-0" FROM ANY PROPERTY LINE OR COMMON WALL.
- DISTANCE OF GAS VENT PIPES THROUGH A EXTERIOR WALL PERPENDICULAR TO A PROPERTY LINE OR COMMON WALL TO BE MINIMUM OF 4'-0" FROM THE PROPERTY LINE OR COMMON WALL.
- OVERFLOW DRAIN IS TO BE SET 2" ABOVE SCUPPER HEIGHT.



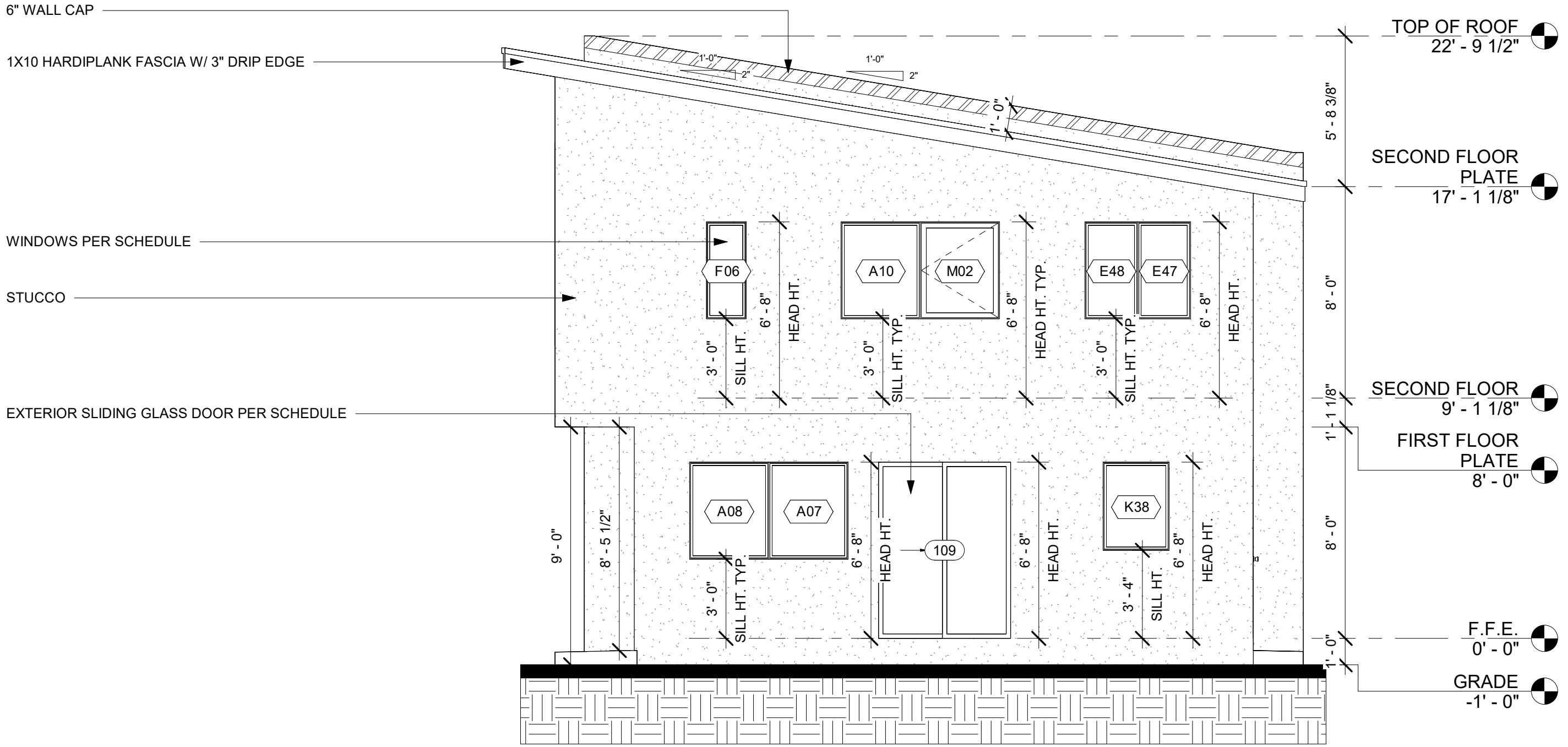
1 FRONT ELEVATION
1/4" = 1'-0"



3 REAR ELEVATION
1/4" = 1'-0"



2 LEFT ELEVATION
1/4" = 1'-0"



4 RIGHT ELEVATION
1/4" = 1'-0"

AFFORDABLE COTTAGE
HOUSE COMMUNITY
211 E. 4TH ST.
ELOY, AZ 85131

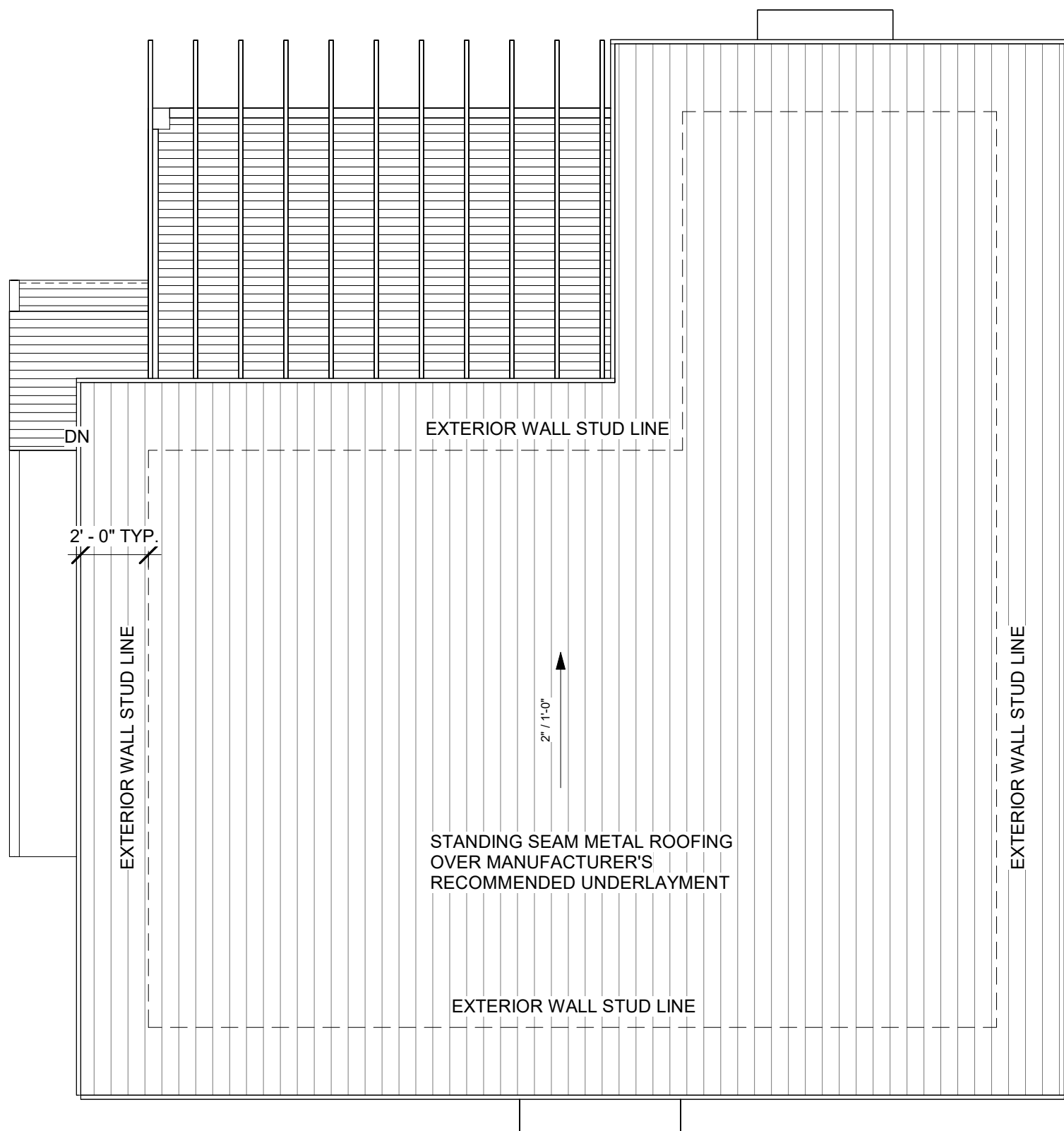
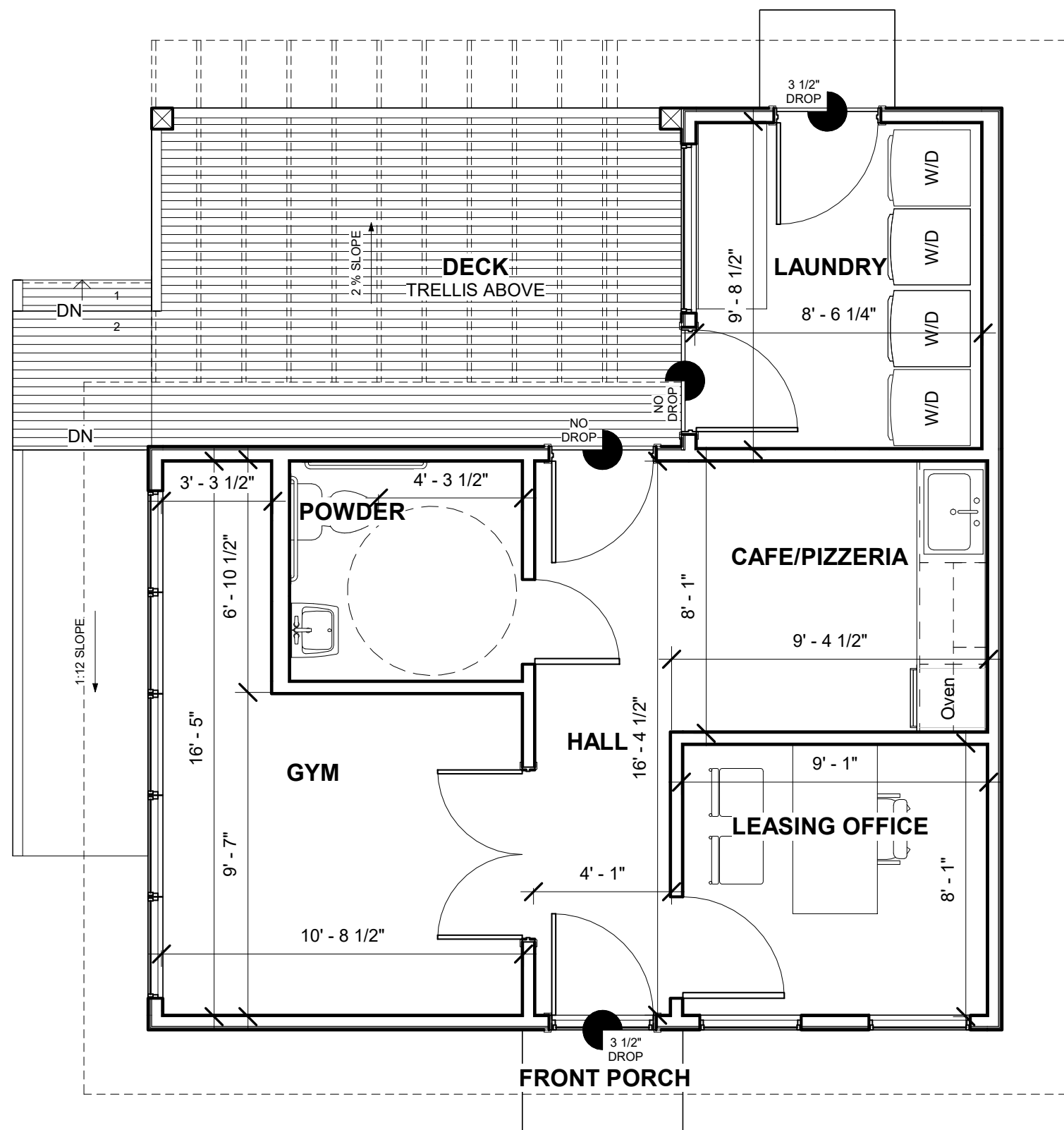
PROJECT OWNER AND ADDRESS

NO.	DESCRIPTION	DATE
REVISION SCHEDULE		

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ELEVATIONS - 2-STORY DUPLEX	
Project number	Project Number
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Drawn by	Author
Checked by	Checker
A100.3	
Scale	1/4" = 1'-0"

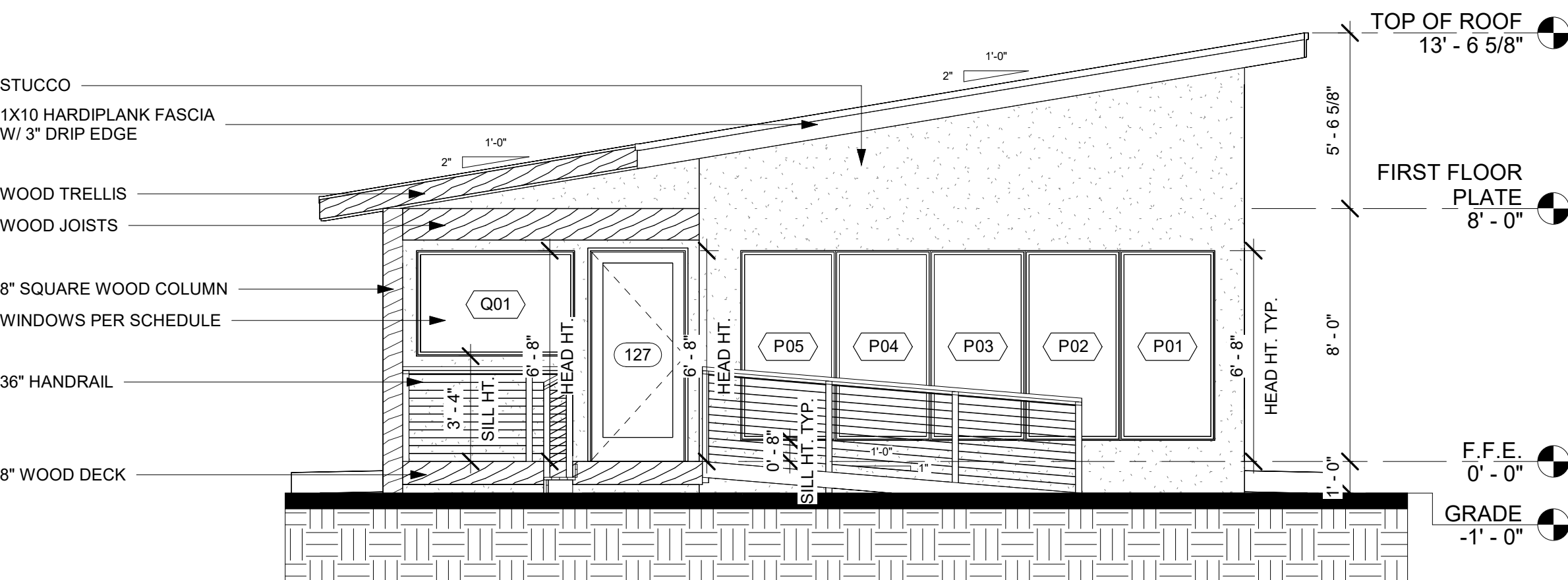
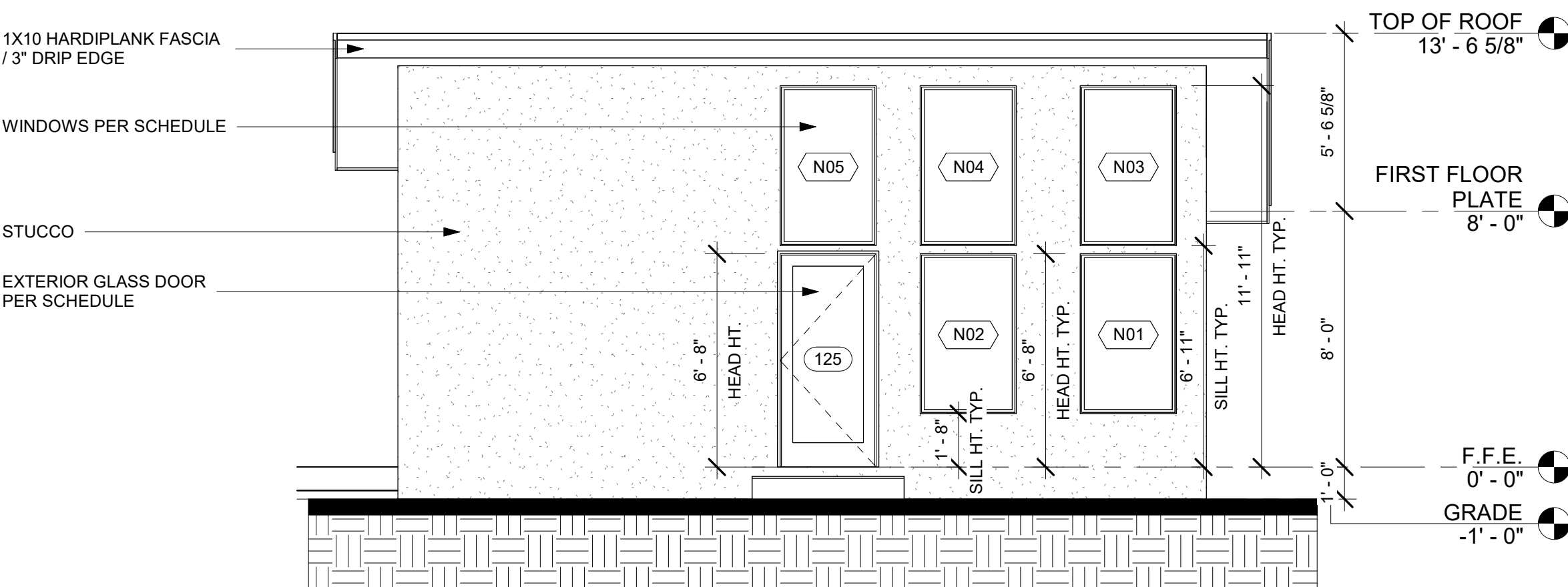


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AREA SCHEDULE		
Name	Level	Area
PUBLIC AREA	F.F.E.	530 SF
FRONT PORCH	F.F.E.	14 SF
DECK	F.F.E.	157 SF
Grand total:	3	701 SF

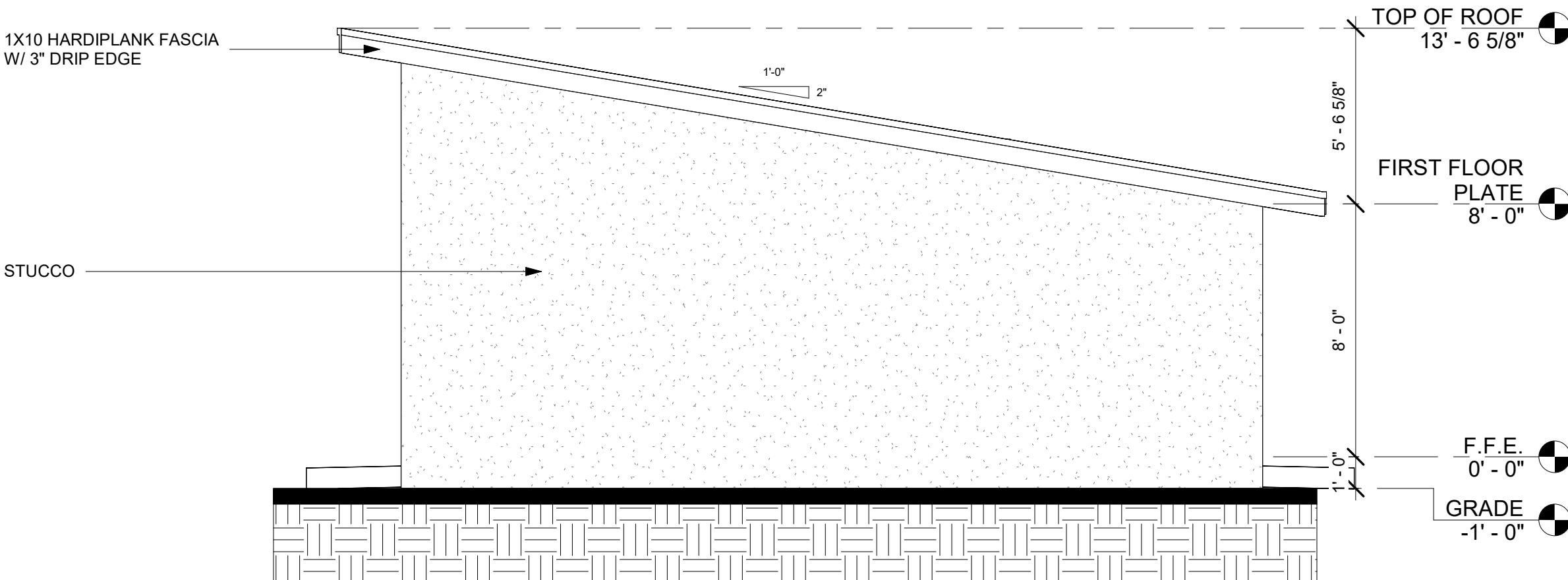
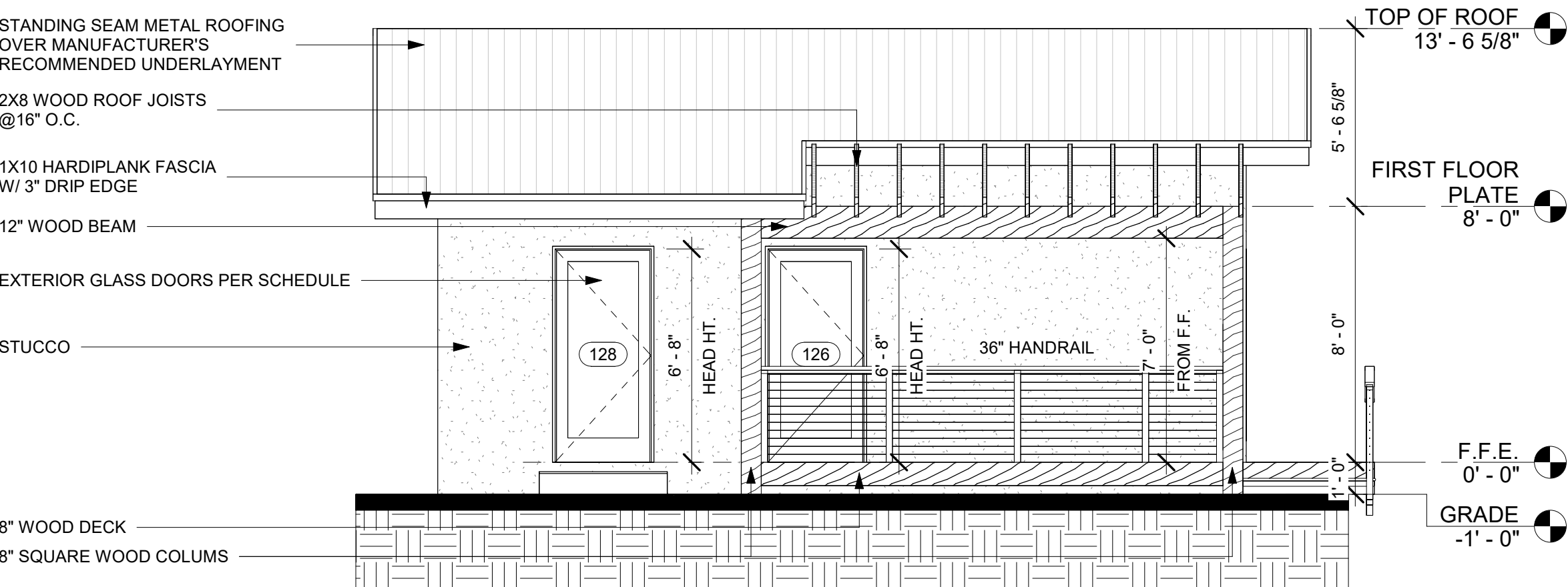
1 FLOOR PLAN
1/4" = 1'-0"

2 ROOF PLAN
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3 FRONT ELEVATION
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6 RIGHT ELEVATION
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**AFFORDABLE COTTAGE
HOUSE COMMUNITY**

211 E. 4TH ST.
ELOY, AZ 85131

PROJECT OWNER AND ADDRESS

NO.	DESCRIPTION	DATE
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REVISION SCHEDULE

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**FLOOR PLANS &
ELEVATIONS -
COMMUNITY
BUILDING**

Project number	Project Number
Date	10/26/2023 4:34:54 PM
Drawn by	Author
Checked by	Checker

A100.4



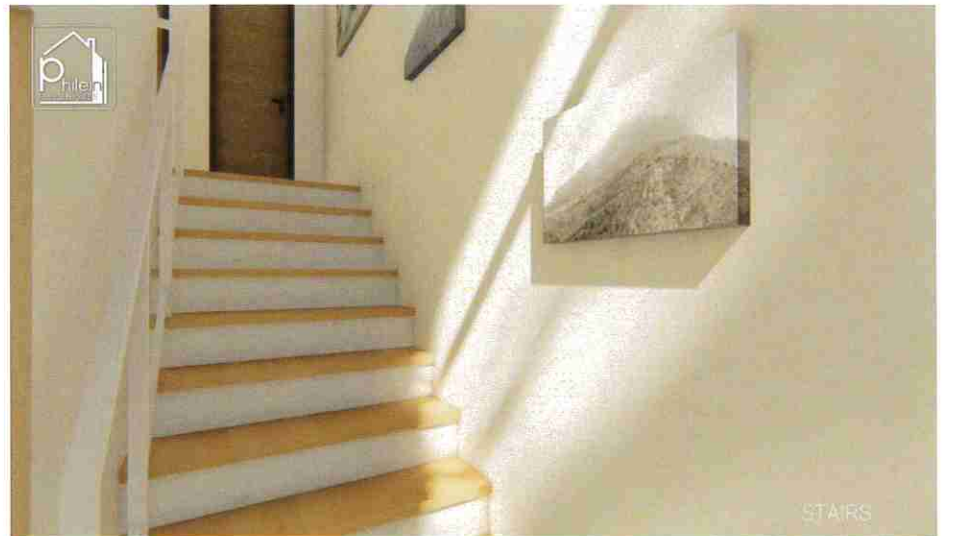






















CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VIII.D.**

Date: **1/17/2024**

Date submitted:
01/02/2024

Action: Formal

Subject: Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial or continuance of Case No. RZ2023-066 (Project Name: Autumn Cottages @ Eloy).

Date requested:
1/17/2024

TO: Planning and Zoning Commission

FROM: Dan Symer, Belinda Cota

RECOMMENDATION:

Staff recommends approval of Case No. RZ2023-066, Autumn Cottages @ Eloy, a rezoning application to rezone property located at 211 E. 4th Street (between Stuart Boulevard and Sunshine Boulevard, Pinal County Parcel number 405-03-331A) from Single-Family Residential (R1-6) with the Downtown Core Overlay (DCO) to Multiple Family Residential (R-3) (10-24 dwelling units/acre) with a Downtown Core Overlay (DCO).

DISCUSSION:

None.

FISCAL IMPACT:

The fiscal impact of this recommendation for approval would increase both sales taxes and property taxes for the City of Eloy, upon the construction and opening of the multi-family cottages.