



**PUBLIC NOTICE
PLANNING & ZONING COMMISSION**

Meets

Wednesday, September 20, 2023

6:00 PM

**ELOY CITY COUNCIL CHAMBERS
595 NORTH C STREET
ELOY, ARIZONA 85131**

AGENDA

I. Call to Order

II. Roll Call

III. Invocation

IV. Pledge of Allegiance

V. Public Appearances

Those wishing to **ADDRESS THE PLANNING & ZONING COMMISSION** may do so by signing in on a form provided by the Community Development Director, identifying the topic(s) or agenda item(s). **ACTION** taken as a result of public comment regarding non agenda items will be limited to directing staff to study the matter or rescheduling the matter for further consideration and decision at a later date. **SPEAKERS SHALL BE LIMITED TO THREE (3) MINUTES.**

VI. Motion to approve the August 16, 2023 meeting minutes of the Planning and Zoning Commission

A. Meeting Minutes for August 16, 2023 Meeting

VII. Old Business: Possible discussion and/or action on the following:

VIII. New Business: Possible discussion and/or action on the following:

A. Conduct a public hearing for an application submitted by Robert Donaldson on behalf of Exceptional Healthcare, for a Conditional Use Permit for a proposed Hospital consisting of approximately 10 acres. This request specifically is requesting the following uses under I-1, Light Industrial zoning district: An eight-room inpatient and eleven-room emergency department hospital that will provide emergency room service including examination, triage, and trauma. Additional services provided are radiological, scanning, and laboratory screening services. Case No.: CUP2023-030. (Project Name: Exceptional Healthcare Community Hospital - Eloy)

- B. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial or continuance of Conditional Use Permit, Case No.: CUP2023-030. (Project Name: Exceptional Healthcare Community Hospital - Eloy)

IX. Informational Item:

X. Communications:

- A. Ex-Officio Member Announcements
- B. Staff Announcements

XI. Motion to Adjourn

POSTED BY FRIDAY, SEPTEMBER 15, 2023 AT ELOY CITY HALL, ELOY POST OFFICE, TROY THOMAS COMMUNITY CENTER, TOLTEC COMMUNITY/SENIOR CENTER AND CITY WEBSITE: www.elayaz.gov

A handwritten signature in black ink, appearing to read "Mary Myers", with a horizontal line extending to the right.

Mary Myers, MMC, CPM
City Clerk

INDIVIDUALS WITH SPECIAL ACCESSIBILITY NEEDS MAY CONTACT LORENA LaSALDE-RIOS, ADA COORDINATOR FOR THE CITY OF ELOY AT 520-466-9201 OR 520-466-7455 (TDD). IF POSSIBLE, SUCH REQUESTS SHOULD BE MADE 72 HOURS IN ADVANCE. ONE OR MORE MEMBERS OF THE COMMISSION AND/OR STAFF MAY PARTICIPATE BY TELEPHONIC OR VIDEO MEANS.

**MEETING MINUTES OF
THE CITY OF ELOY
PLANNING AND ZONING COMMISSION
Regular Meeting
Wednesday, August 16, 2023
6:00 p.m.**

I. CALL TO ORDER

Chairperson Paulson called the meeting to order at 6:03 p.m.

II. ROLL CALL

*One or more members of the Planning and Zoning Commission may attend by telephonic means.

Members present:

- Chairperson Steven Paulson
- Vice-Chairperson Conrad Tolson
- Commissioner Larry Brown
- Commissioner Allen Crawford (via telephone)
- Commissioner Edward Saucedo
- Alternate Commissioner Kathryn Meyers
- Ex-Officio Sara Curtis

Members Absent:

- None.

Staff present:

- Jon Vlaming, Community Development Director
- Belinda Cota, Planner

Others present/speakers:

- Heather Dukes, Zoning Counsel
- Anthony Beavers, Love's Real Estate Project Manager
- Garrett Frame, P.E., Kimley-Horn & Associates
- Andrew Sutton, Eloy Council member

III. INVOCATION

Chairperson Paulson led the Invocation and requested a moment of silence.

IV. PLEDGE OF ALLEGIANCE

Chairperson Paulson led the recitation of the Pledge of Allegiance.

V. PUBLIC APPEARANCES

None.

VI. MOTION TO APPROVE THE MAY 30, 2023 AND THE JULY 26, 2023 MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION

A. THE MEETING MINUTES FOR THE MAY 30, 2023 PLANNING & ZONING COMMISSION.

Chairperson Paulson asked for a motion to approve the meeting minutes of the Planning and Zoning Commission. Commissioner Brown made a motion to approve the May 30, 2023 meeting minutes as presented. Commission Crawford seconded the motion as presented.

AYES: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Brown, Commissioner Saucedo, Commissioner Crawford, Commissioner Myers

NAYS: None.

The motion passes unanimously with a vote 5-0.

B. THE MEETING MINUTES FOR THE JULY 26, 2023 PLANNING & ZONING COMMISSION

Chairperson Paulson asked for a motion to approve the meeting minutes of the Planning and Zoning Commission. Commissioner Brown made a motion to approve the May 30, 2023 meeting minutes as presented. Commission Crawford seconded the motion as presented.

AYES: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Brown, Commissioner Saucedo, Commissioner Crawford, Commissioner Myers

NAYS: None.

The motion passes unanimously with a vote 5-0.

VII. OLD BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

None.

VIII. NEW BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

A. CONDUCT A PUBLIC HEARING FOR AN APPLICATION SUBMITTED BY HEATHER N. DUKES, ESQ., C/O JAVELINA DEVELOPMENT LLC, PROPOSING TO REZONE

Planning and Zoning Commission

Wednesday, August 16, 2023

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APPROXIMATELY 17.15 ACRES CONSISTING OF PINAL COUNTY ASSESSOR PARCEL NUMBERS: 403-23-002A AND 403-23- 003B, LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF TOLTEC ROAD AND HOUSER ROAD IN ELOY, ARIZONA, FROM R1-12 (SINGLE-FAMILY RESIDENTIAL) TO C-2 (COMMUNITY COMMERCIAL).CASE NO.: RZ2023-012 (PROJECT NAME: LOVE'S TRAVEL STOP)

Chairperson Paulson opened the public hearing.

Ms. Belinda Cota gave a brief introduction of the case and Mr. Vlaming introduced the applicant who was present and had a PowerPoint presentation to show everyone.

Ms. Heather Dukes introduced herself and stated that she was here tonight on behalf of Love's Travel Stops and Country Stores to request approval of a rezoning and conditional use permit application for a new Love's Travel Stop at the southwest corner of Toltec Road and Houser Road, just south of the I-10 freeway.

Turning to Slide 2, before she moved on and provided further information on the applications, she briefly introduced members of her team who are present and available to assist in answering any technical or operational questions you may have.

She introduced Love's Real Estate Project Manager, Anthony Beavers, as well as Garret Frame, who is a professional engineer with Kimley-Horn & Associates.

She gave just a quick background on Love's, this company was founded in Oklahoma in 1964 by Tom and Judy Love and remains family-owned and operated. Today, Love's has approximately 600 locations in 42 states, providing professional truck drivers, motorists, and residents with 24-hour access to clean and safe travel stops with restaurant offerings. The Love's Family of Companies has approximately 38,000 employees from coast to coast, and in 2022, was listed as one of America's Best Employers in the retail and wholesale industry category.

Turning to Slide 3, She explained that she has listed the 3 applications that she submitted for the City's review and approval. Tonight, you will be hearing and providing a recommendation on 2 of those applications:

First, the request to rezone the property from the R1-12 Single Family Residential zoning district to the C-2 Community Commercial zoning district, and

Second, the conditional use permit application is required for the proposed truck stop, truck wash, drive-through restaurant, and 5 overnight RV parking spaces.

The third application at the bottom, the Site Plan Review, has been filed and will be approved administratively by City staff in the event the C-2 zoning and conditional use permit are approved.

Turning to Slide 4, she provided an overview of the property and its location. The property is designated on this context map with a yellow star. The existing I-10 freeway interchanges are designated with green circles. As you can see, this Property is located approximately 150 feet south of the I-10 freeway/Toltec Road interchange, at the intersection of Toltec and Houser Road. Both Houser and Toltec are classified as major arterial roadways. The property's location at a major arterial intersection in close proximity to the I-10 ensures ease of access for nearby residents and vehicles traveling to and from the freeway.

On Slide 5, Ms. Dukes showed a closer aerial view of the property and its surroundings. The property is outlined in yellow and consists of two (2) vacant parcels totaling approximately 17 acres. In terms of its surroundings, TES Farms owns approximately two-hundred and sixty-six (266) acres of vacant land zoned R1-12 to the north, west, and south. To the northeast of the Property, the State of Arizona owns a narrow parcel measuring approximately four (4) acres along the Houser Road alignment as part of the I-10 right-of-way. This parcel is zoned C-2, Community Commercial zoning district. On the east side of Toltec Road, there is an existing TA Travel Center with three (3) restaurants. The TA Travel Center is also zoned C-2. On the east side of Toltec Road, you will notice that the TA Travel Center is surrounded to the north, east, and south by the Tohono Phase 1 subdivision which consists of 23 lots within the Light Industrial (I-1) zoning district. Most of the lots in Tohono Phase 1 remain vacant, with the exception of two uses: a Pizza Hut and a truck wash.

Slide 6, showed the General Plan Land Use Map. The property is located on the south side of the Toltec area, which is comprised of community neighborhoods and freeway-oriented commercial development. So it is appropriate that the City's Land Use Map designates the Property with a Community Commercial land use designation, which is shown in red.

Slide 7, showed the City's Zoning Map, with the property outlined in yellow. This Zoning Map showed that the property is currently zoned R1-12, which is a single-family residential zoning district.

On Slide 8, Ms. Dukes showed the City Zoning Map with the property's zoning updated to the C-2 Community Commercial Zoning District, which is depicted in red color. She continued, as you can see from this map, that the C-2 zoning is compatible with the existing commercial and industrial zoning at the Toltec and Houser Road intersection, as well as the existing commercial and industrial zoning on both sides of the I-10 freeway.

Mr. Dukes explained why the C-2 zoning is appropriate and compatible at this location, and she moved to Slide 9 to discuss how the Love's Travel Stop is appropriate to use and further the general purpose of the C-2 zoning district. According to the City's Zoning Ordinance, one of the purposes of commercial zoning districts in the City is to provide a variety of goods and services in order to foster economic health. They are best located along primary roadways to serve Eloy residents, customers, and visitors. The commercial districts are intended to allow for larger commercial uses to satisfy the needs of the community at large. The proposed Love's travel stop meets the purposes and intent of the C-2 zoning district. The travel stop is truly a mixed-use, providing a variety of goods and services that foster the economic health of Eloy. The travel stop is proposed along the I-10 freeway and the intersection of 2 major arterial roads. It is a large commercial use intended to serve Eloy residents, customers, and also visitors with retail and service-oriented activities.

Slide 10, showed Love's conceptual site plan for this location. The proposed buildings have been pushed towards the Toltec Road frontage and significant landscaped buffers

are provided on all sides, which minimizes impact to the vacant R1-12 land. The southernmost building is the convenience store and two (2) restaurants with a drive-through window. The middle two (2) structures are the semi-truck and auto-fueling canopies. And the northmost building is the truck wash. She added as you can see, considerable parking for both semi-trucks and passenger vehicles is provided throughout the site. As a somewhat unique addition to this plan, Love's is planning to offer 5 overnight RV parking spaces with utility hookups and a pet relief area to the southeast of the truck wash building and, in terms of traffic circulation, the 2 driveway connections with Toltec Road will be aligned with the TA Travel Stop driveways, which was an ADOT requirement to ensure safety. Their Traffic Impact Analysis also recommends the installation of a continuous southbound right-turn deceleration lane on Toltec Road.

Slide 11, it showed an overview of the conceptual site plan details, including the square footage of the buildings and canopy areas. The lot coverage of this proposal is fairly limited at 5.7%. In terms of parking, they meet the requirement of 67 parking spaces, which includes 3 ADA spaces, and are also providing an additional 128 spaces that would fit semi-truck and RV parking as well.

Turning to Slide 12, she briefly addressed the landscaping numbers. Not only will the site be landscaped in compliance with the City's drought-tolerant vegetation requirements, but it is also being developed with a 40-percent gross landscape coverage and streetscape landscaping that greatly exceed the City's requirements. There was a table from Love's landscape plan dated July 31, 2023, which demonstrates this. She provided an example, with approximately 78,000 square feet of streetscape area, the City of Eloy requires a total of 78 trees [one (1) tree per 1,000 square feet of streetscape]. Love's landscape plan proposes to install 131 trees within the streetscape. The City of Eloy also requires 312 shrubs and 312 groundcover plants within Love's streetscape area. Love's has greatly exceeded those requirements with 635 proposed shrubs and 440 proposed groundcover plants.

Slide 13, showed the North-South elevations for the convenience store and restaurants. The highest point of buildings – is 28 feet and most building heights are 24 feet.

Slide 14, shows the East/West elevations for convenience store and restaurants.

Slide 15, showed the Truck wash elevations.

Slide 16, showed that the property is located within the Employment Corridor according to the City's General Plan. The Employment Corridor runs parallel to the Union Pacific Rail Line on the north and the I-10 freeway on the south. The Corridor is "home to many of Eloy's retail and industrial employers" with "a large inventory of vacant, industrially-zoned and utility-served Property" that is available for development. The General Plan states that "Eloy is well positioned on Interstate 10 and the Union Pacific rail line with excellent proximity to Arizona's border with Mexico – three ideal assets for attracting manufacturing, distribution and warehousing operations." The Love's Travel Stop is a use that is essential to supporting the transportation demands of manufacturing, distribution, and warehousing operations

and provides an opportunity to capture additional sales tax revenue from pass-through traffic along I-10.

On Slide 17, Ms. Dukes showed that the property is in the Interstate 10 Corridor Economic Focus Area according to the Economic Prosperity Map in the General Plan. For the Interstate 10 Corridor Focus Area, the City has identified six (6) industry clusters that are suitable and potential targets for Eloy after evaluating employment growth, wages, market strength, and existing business presence in the region. “Transportation & Logistics” was listed as one of the six industry clusters, with “warehousing and storage, rail transportation, and truck transportation” listed as industry targets. The proposed Love’s Travel Stop is a vital component of the truck transportation industry, providing fuel, meals, and much-needed truck parking. Thus, these applications are consistent with the industry targets identified in the Economic Prosperity Element of the General Plan. Ms. Dukes concluded her presentation and respectfully requested the Commission’s approval.

The chairperson thanked Ms. Dukes and asked if anyone had a question. Chairperson Paulson closed the public hearing.

B. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL OR CONTINUANCE OF CASE NO.: RZ2023- 012 (PROJECT NAME: LOVE'S TRAVEL STOP).

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: RZ2023-012. Commissioner Brown made a motion to recommend approval to the Eloy City Council. Commissioner Crawford seconded the motion.

AYES: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Brown. Commissioner Saucedo, Commissioner Crawford.
NAYS: None.

The motion passed with a vote of 5-0.

C. CONDUCT A PUBLIC HEARING FOR AN APPLICATION SUBMITTED BY HEATHER N. DUKES, ESQ., C/O JAVELINA DEVELOPMENT LLC, TO OBTAIN A CONDITIONAL USE PERMIT FOR A PROPOSED LOVE'S TRAVEL STOP, CONSISTING OF APPROXIMATELY 17.15 ACRES (ZONED C-2, COMMUNITY COMMERCIAL) LOCATED AT THE SOUTHWEST CORNER OF THE INTERSECTION OF TOLTEC ROAD AND HOUSER ROAD IN ELOY, ARIZONA. SPECIFICALLY, THIS APPLICATION REQUESTS THE FOLLOWING USES ON THE PROPERTY: A TRUCK STOP, A TRUCK WASH, AND TWO FAST-FOOD RESTAURANTS WITH A DRIVE-THROUGH PURSUANT TO SECTION 21-2-3.3 AND TABLE 2.3-1. FIVE (5) OVERNIGHT RECREATIONAL VEHICLE (RV) PARKING SPACES ARE ALSO INCLUDED WITH LIMITED ELECTRICITY AND WATER UTILITY

CONNECTIONS (AS AN ACCESSORY USE) TO THE TRUCK STOP. CASE NO.: CUP2023-011. (PROJECT NAME: LOVE'S TRAVEL STOP)

Chairperson Paulson opened the public hearing and asked if anyone had any comments from the previous presentation Ms. Dukes had presented.

There was a discussion about the proposed five (5) Recreational Vehicle overnight parking and some of the Commission members and Ex-officio concerns.

Hearing no others. The Public Hearing closed.

D. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, DENIAL, OR CONTINUANCE OF CONDITIONAL USE PERMIT, CASE NO.: CUP2023-011. (PROJECT NAME: LOVE'S TRAVEL STOP)

Chairperson Paulson asked for a recommendation for approval, approval with conditions, denial, or continuance for Case No.: CUP2023-011. Vice-chairperson Tolson made a motion to recommend approval to the Eloy City Council. Commissioner Brown seconded the motion

AYES: Chairperson Paulson, Vice-Chairperson Tolson, Commissioner Brown, Commissioner Saucedo, Commissioner Crawford.

NAYS: None.

The motion passed with a vote of 5-0.

IX. INFORMATIONAL ITEMS:

None.

X. COMMUNICATIONS:

A. Ex-Officio Curtis communicated the following.

- She announced that the Chief of Police, Chief Vasquez is retiring and the City is grateful for his service.

B. Community Development Director Announcements

- Mr. Vlaming just wanted to thank everybody on the commission for serving in the Planning and Zoning Commission and said keep up the good work. Mr. Vlaming stated he is retiring from the City. Chairperson Paulson and the Commission thanked Mr. Vlaming for his services. Mr. Vlaming said thank you very much.
- There will be a Planning and Zoning meeting on September 20, 2023.

XI. MOTION TO ADJOURN.

Chairperson Paulson asked for a motion to adjourn. Vice-Chairperson Tolson made a motion to adjourn and was seconded by Commissioner Brown. The meeting adjournment passed with a vote of 5-0 and the meeting adjourned at approximately 6:54 p.m.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: VIII.A.

Date: 9/20/2023

Date submitted:
08/24/2023

Action: Other

Date requested:
9/20/2023

Subject: Conduct a public hearing for an application submitted by Robert Donaldson on behalf of Exceptional Healthcare, for a Conditional Use Permit for a proposed Hospital consisting of approximately 10 acres. This request specifically is requesting the following uses under I-1, Light Industrial zoning district: An eight-room inpatient and eleven-room emergency department hospital that will provide emergency room service including examination, triage, and trauma. Additional services provided are radiological, scanning, and laboratory screening services. Case No.: CUP2023-030. (Project Name: Exceptional Healthcare Community Hospital - Eloy)

TO: Planning and Zoning Commission

FROM: David Malewitz, Belinda Cota

RECOMMENDATION:

DISCUSSION:

The City has received an application from Robert Donaldson on behalf of Exceptional Healthcare, which has submitted an application for a Conditional Use Permit (CUP) for a proposed Hospital consisting of approximately 10 acres located just 300 feet from Interstate 10, Exit 208 north of the freeway/Sunshine Boulevard interchange off-ramp, Pinal County Assessor's Parcel numbers: 411-10-020D, 411-10-017K and 411-10-021D. Specifically, this application requests approval of a Conditional Use Permit application to allow the following uses on the property:

1. a Hospital in the Light Industrial (I-1) zoning district pursuant to Section 21-2-5.3 and Table 2.5-1 of the Eloy Zoning Ordinance.

The applicant is seeking approval of the CUP Application for the purposes of developing a Hospital within the Light Industrial (I-1) zoning district. This CUP Application is consistent with, and conforms to, the City of Eloy General Plan, which currently identifies the property with a General Industrial land use designation.

FISCAL IMPACT:

There is not a fiscal impact from conducting the public hearing.



Conditional Use Permit – Project Narrative

Date: August 1st, 2023

Purpose: Narrative to discuss Current/Proposed General Plan

The site is located on the northeast tract of land at Interstate 10 and Sunshine Boulevard South of the SSA Travel Center Development. This newly formed 10-acre property is located next to East Milligan Road.

The current Land use code for the project site is **GI** - General Industrial. Properties in this category are mostly intense industrial. Wholesale & storage warehouses, external storage yards, fabrication, manufacturing, processing, repairing and packaging of goods. Adjacent properties are **GI** - General Industrial and **LI** - Light Industrial. For parcels located to the South of Interstate 10, **CC** - Community Commercial is designated.

The current property is zoned **I-1**, Light Industrial. The purpose of this Industrial Zoning District is to provide for a mix of assembly and non-intensive manufacturing and office park uses. Such uses are located in an attractive, planned development setting with proper screening and landscaping, all compatible with adjacent uses. It is intended that this district allow for employment growth through the establishment of high quality, planned industrial centers for corporate offices and indoor manufacturing and well screened storage uses.

The proposed use of the newly formed property would be to provide an eight-room inpatient and eleven-room emergency department hospital for the residents of the city of Eloy. The facility will provide emergency room services including examination, triage and trauma. Additional services provided are radiological, scanning and laboratory screening services. The Inpatient section of the building provides post-acute care with ensuite restrooms and family areas. A full-service warming kitchen will provide patients with the necessary nutritional diet required. The facility will be landscaped to provide an atmosphere that is in tune with the surrounding desert aesthetic.

The facility would provide a necessary service for the health and safety of the city and stimulate job growth in the health field for the surrounding area. The location near the interstate would provide easy and direct access for residents; in addition, ambulance and heliport service would connect the facility to hospitals throughout the region.

The facility will be a new health resource in a growing metropolitan area.

Robert Donaldson AIA

Director of Architecture - BMH AsBuilt USA.

3514 Cedar Springs Road

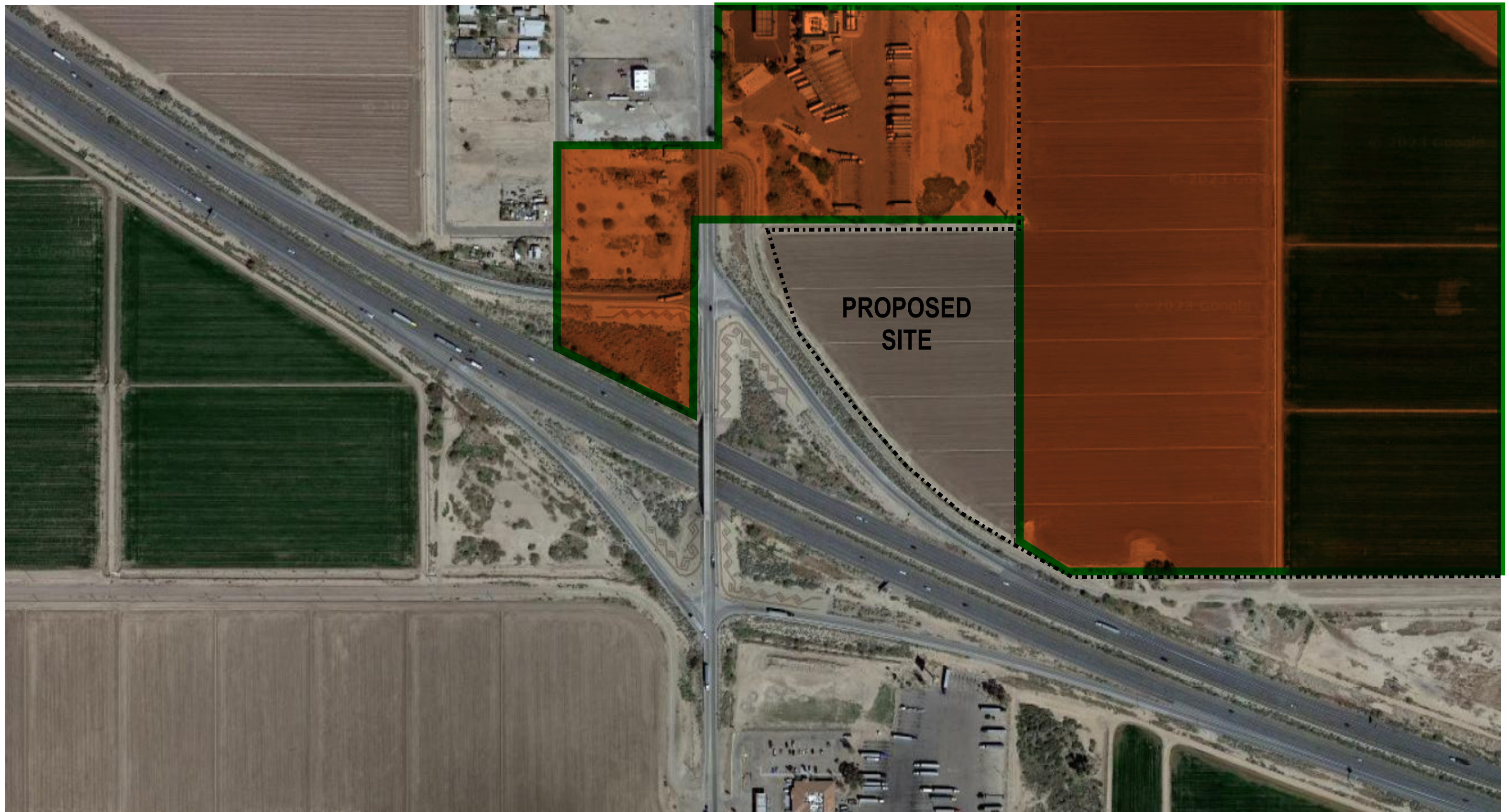
Dallas, TX 75219



AREA MAP



SITE MAP



300'-0" NOTIFICATION BOUNDARY

PRELIMINARY
NOT FOR CONSTRUCTION
Not for permits, pricing or
other official purposes.
This document has not been
completed or checked and is
for general information or
comment only.

08/01/2023

A NEW PROJECT FOR: EXCEPTIONAL HEALTHCARE

Hospital - Eloy, Arizona

340 EAST MILLIGAN ROAD

ISSUE DATES:

NO.	DESCRIPTION	DATE

JOB NO. 2023-11

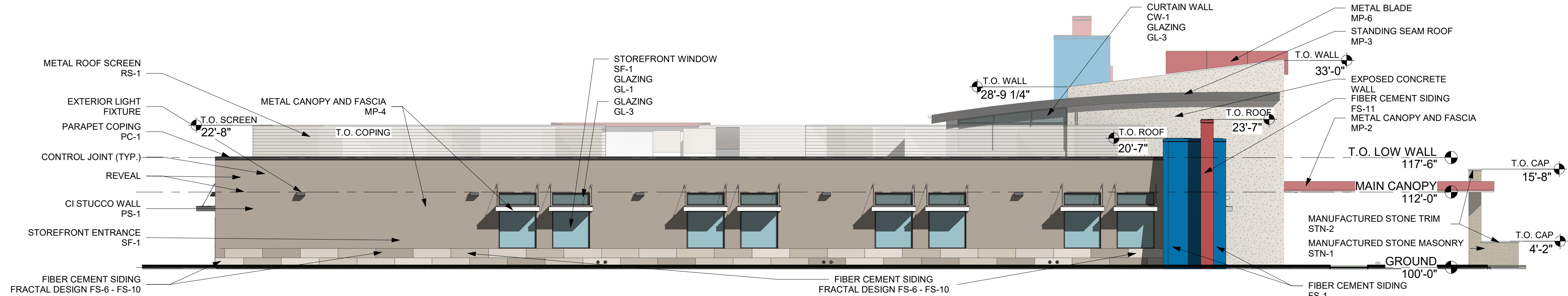
PROPOSED
ELEVATIONS

A-1

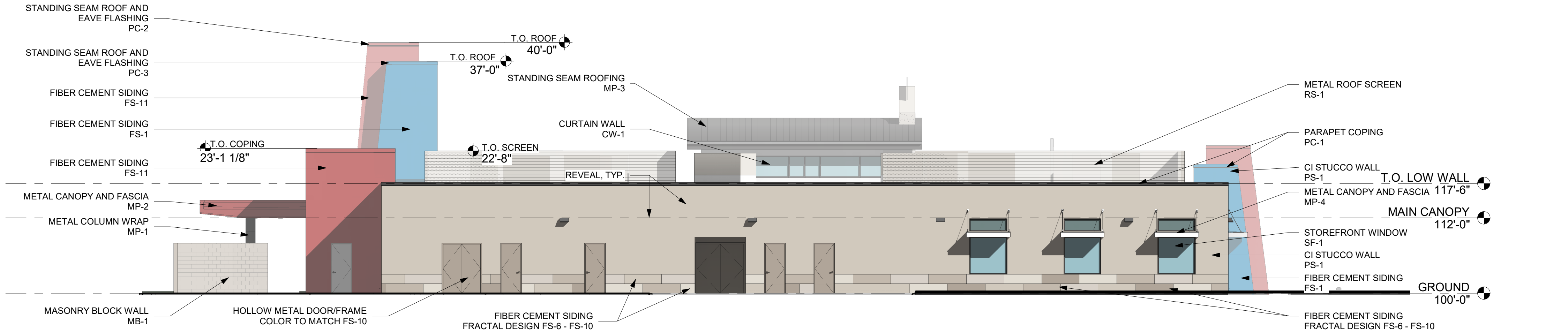
08/01/2023

ELEVATION FINISH SCHEDULE

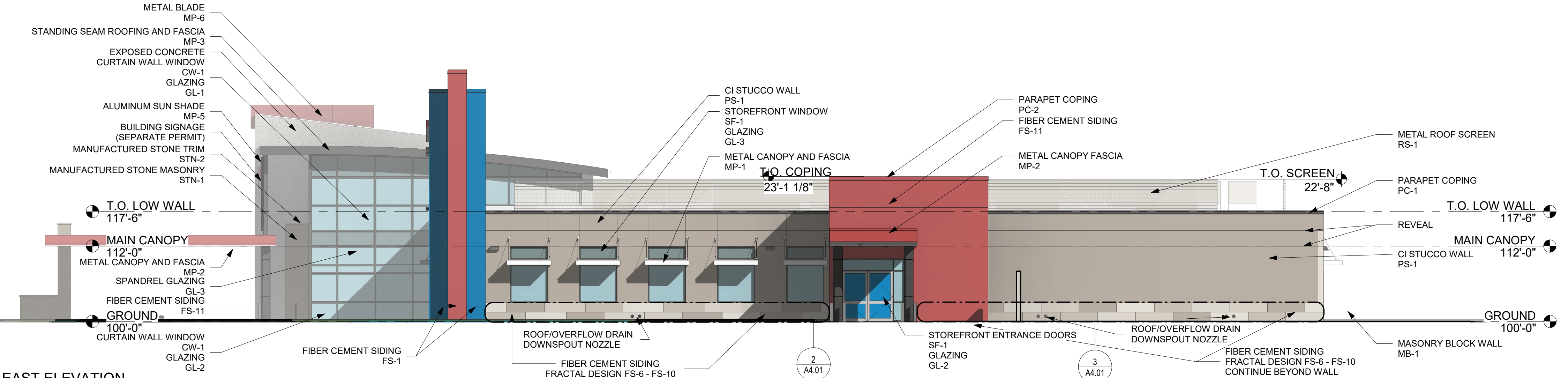
MP-1:	07.4243 COMPOSITE METAL WALL PANEL
MANUF:	ALPOLIC MATERIALS OR APPROVED SUBSTITUTION
COLOR:	DBR DARK BRONZE ANODIZED
THICKNESS:	4MM
MP-2:	07.4243 COMPOSITE METAL WALL PANEL
MANUF:	ALPOLIC MATERIALS
COLOR:	MATCH COLOR FS-11
THICKNESS:	4MM
MP-3:	07.6113 STANDING SEAM ROOF
MANUF:	BERRIDGE
TYPE:	TEE PANEL
COLOR:	DARK BRONZE
MP-4:	07.6113 STANDING SEAM ROOF
MANUF:	BERRIDGE
TYPE:	CEE PANEL
COLOR:	SHASTA WHITE
MP-5:	10.7115 EXTERIOR SUN CONTROL DEVICES
MANUF:	AVADEK
TYPE:	CANTILEVERED LOUVERS
COLOR:	DARK BRONZE
MP-6:	05.5500 METAL BLADE
MANUF:	PER CONTRACTOR
COLOR:	MATCH COLOR FS-11
FS-1:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW6959 - BLUE CHIP
FS-6:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW7634 - PEDIMENT
FS-7:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW7631 - CITY LOFT
FS-8:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW7043 - WORLDLY GRAY
FS-9:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW7044 - AMAZING GRAY
FS-10:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW7031 - MEGA GREIGE
FS-11:	07.4646 FIBER CEMENT SIDING
MANUF:	NICHIHA
SERIES:	ILLUMINATION
PROFILE:	AWP-1818
THICKNESS:	16MM
COLOR:	CUSTOM MATCH - SW6600 - ENTICING RED
PS-1:	09.2400 PLASTER WITH ELASTOMERIC COATING
MANUF:	BASF WALL SYSTEMS
SERIES:	PLATINUM CI STUCCO PLUS
COLOR:	CUSTOM MATCH - SW7031 - MEGA GREIGE
FINISH:	(PEBBLETEX)
PS-2:	09.2400 PLASTER WITH ELASTOMERIC COATING
MANUF:	BASF WALL SYSTEMS
SERIES:	PLATINUM CI STUCCO PLUS
COLOR:	CUSTOM MATCH - ARCHITECT TO SELECT
FINISH:	(PEBBLETEX)
SF-1:	08.4113 STOREFRONT
MANUF:	KAWNEER OR APPROVED SUBSTITUTION
SERIES:	TRIFAB 601
COLOR:	MATCH COLOR MP-1
CW-1:	08.4413 CURTAIN WALL
MANUF:	KAWNEER OR APPROVED SUBSTITUTION
SERIES:	1600 WALL SYSTEM 2 MODIFIED
COLOR:	MATCH COLOR MP-1
PC-1:	07.6301 PARAPET COPING CAP
MANUF:	BERRIDGE OR APPROVED SUBSTITUTION
COLOR:	MATCH COLOR MP-1
PC-2:	07.6301 PARAPET COPING CAP
MANUF:	BERRIDGE OR APPROVED SUBSTITUTION
COLOR:	MATCH COLOR FS-11
PC-3:	07.6301 PARAPET COPING CAP
MANUF:	BERRIDGE OR APPROVED SUBSTITUTION
COLOR:	MATCH COLOR FS-1
MB-1:	04.2000 MASONRY BLOCK WALL
MANUF:	TRENWYTH BY OLD CASTLE
COLOR:	INTEGRAL COLOR - GROUP B
ARCHITECT TO SELECT FROM STANDARD COLOR SELECTION	
TEXTURE:	MESASTONE
GL-1:	08.8000 GLAZING
MANUF:	PPG OR APPROVED SUBSTITUTION
DEPTH:	1"
TYPE:	INSULATED
GL-2:	08.8000 GLAZING
MANUF:	PPG
DEPTH:	1"
TYPE:	INSULATED AND TEMPERED
GL-3:	08.8000 GLAZING
MANUF:	PPG
DEPTH:	1"
TYPE:	SPANDREL
RS-1:	10.8213 ROOF SCREENS
MANUF:	CUSTOM ROOF SCREEN
TYPE:	PERFORATED METAL DECKING
COLOR:	CUSTOM COLOR TBD
STN-1:	04.4000 MANUFACTURED STONE MASONRY
MANUF:	CORONADO
TYPE:	LEDGESTONE SERIES
ARCHITECT TO SELECT FROM STANDARD COLOR SELECTION	
STN-2:	04.4000 MANUFACTURED STONE MASONRY
MANUF:	CORONADO
TYPE:	FLAGSTONE WALL CAP - 18" X 24"
ARCHITECT TO SELECT FROM STANDARD COLOR SELECTION	



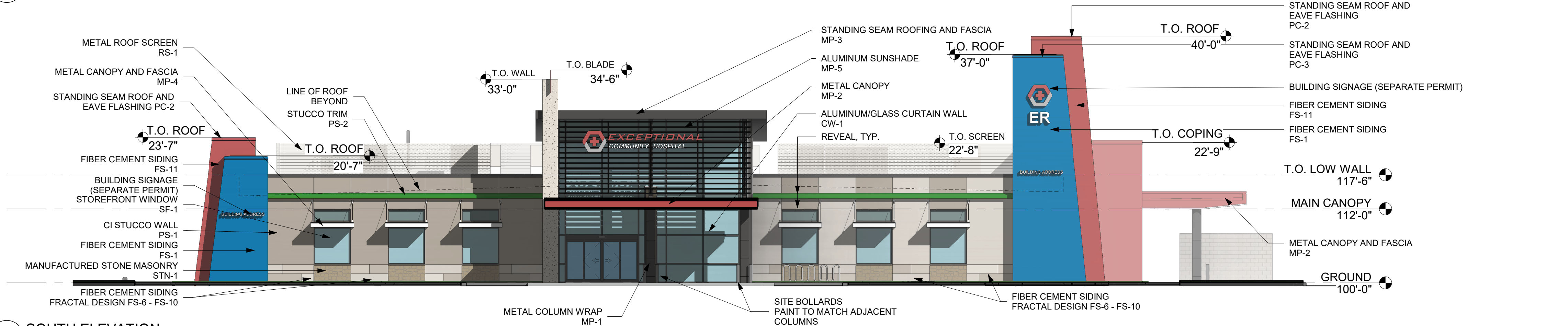
4 WEST ELEVATION
3/32" = 1'-0"



3 NORTH ELEVATION
3/32" = 1'-0"



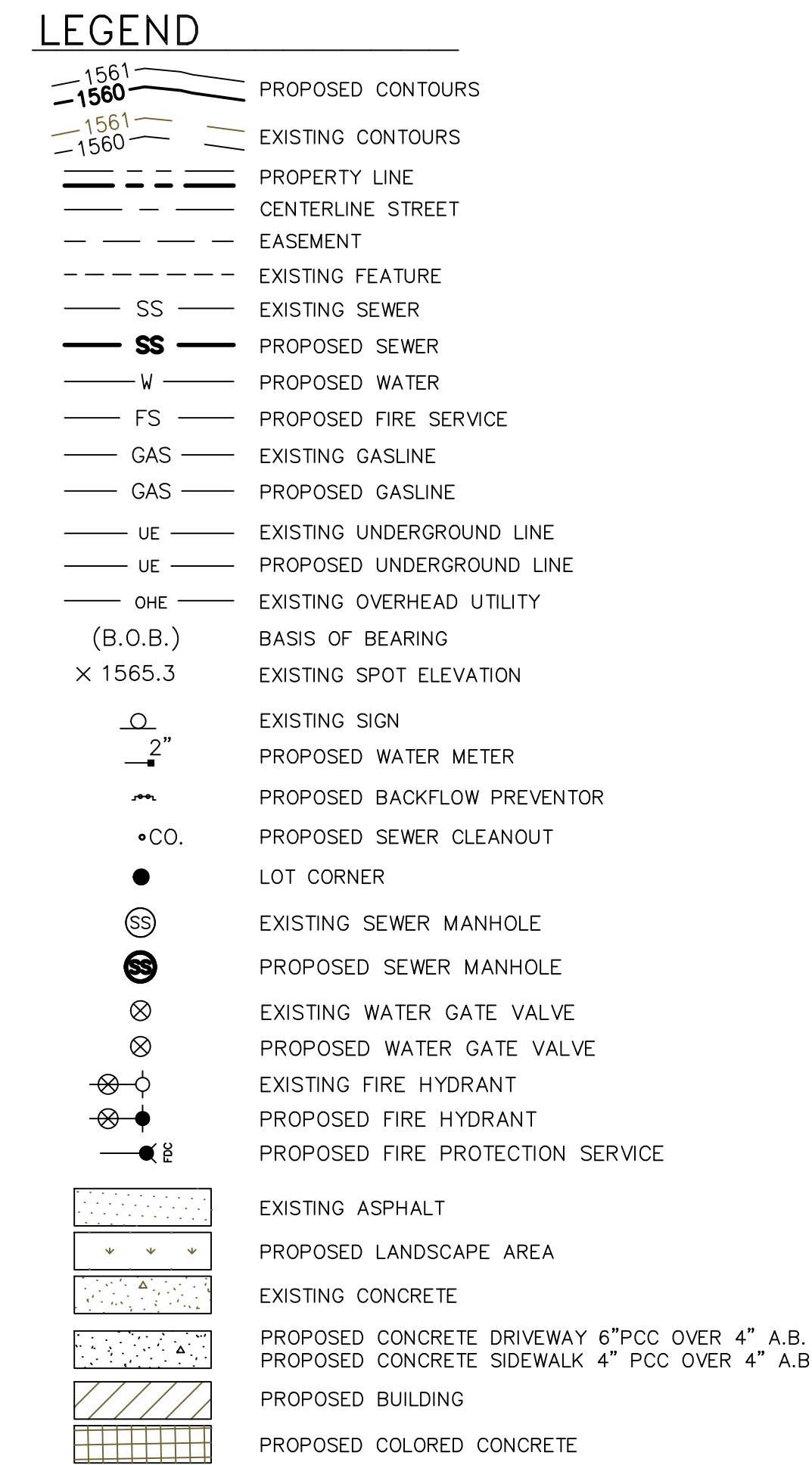
2 EAST ELEVATION
3/32" = 1'-0"



1 SOUTH ELEVATION
3/32" = 1'-0"

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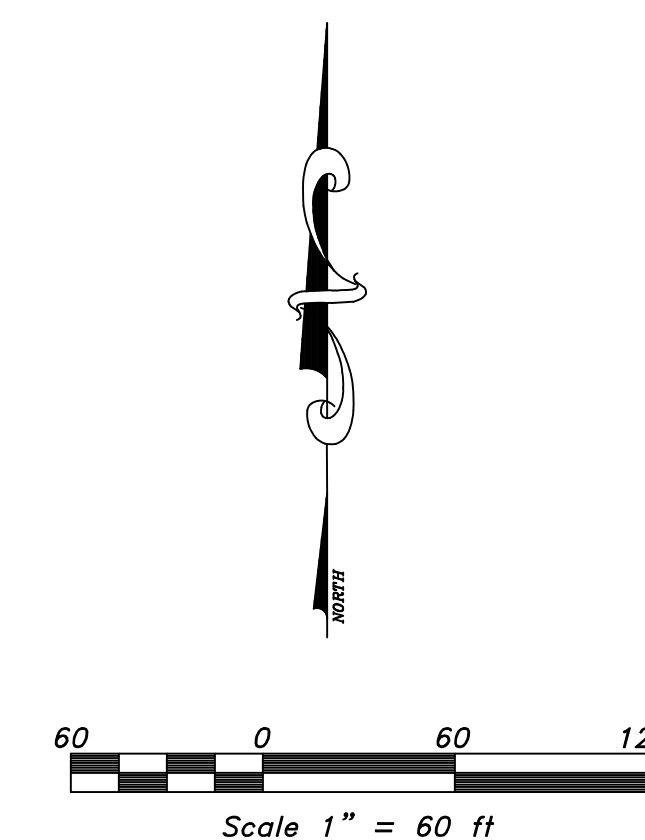


ZONING:-----L1
PROPOSED USE:-----HOSPITAL
SITE AREA:-----3.72 AC
BUILDING AREA:-----22,439 S.F.
BUILDING HEIGHT:-----33'-2"
PARKING SPACES REQUIRED:
1 SPACE PER 2 INPATIENT BEDS + 1 PER EMPLOYEE
ON A NORMAL SHIFT
REQUIRED SPACES-----40 SPACES
PARKING PROVIDED-----40 SPACES
ACCESSIBLE PARKING REQUIRED (10%)--4 SPACES
ACCESSIBLE PARKING PROVIDED-----4 SPACES

NOTE:

PROPOSED TRASH ENCLOSURE SHALL MATCH THE COLOR AND MATERIAL DESIGN OF THE BUILDING.

PROPOSED MONUMENT SIGNS SHALL BE SUBMITTED UNDER A SEPARATE SIGN PERMIT.



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FORT MOHAVE, ARIZONA 86426
(928) 758-3333

REGISTERED PROFESSIONAL ENGINEER
CERTIFICATE NO.
14395
R. LARRY
MORSE
Expiring 1-1-2012
ARIZONA, U.S.A.

Exceptional Healthcare
City OF Eloy, AZ
FIN Development Inc.
A Texas Corporation

Project Number
8056-06

Civil On-Site
Overall Site Plan

Set Date
July 31, 2023

[illegible]

SHEET NO.

C3

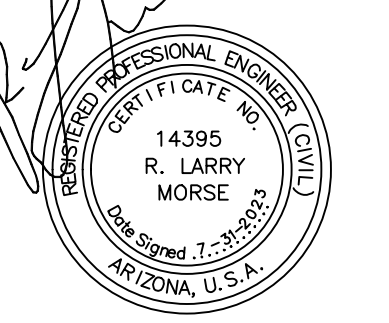
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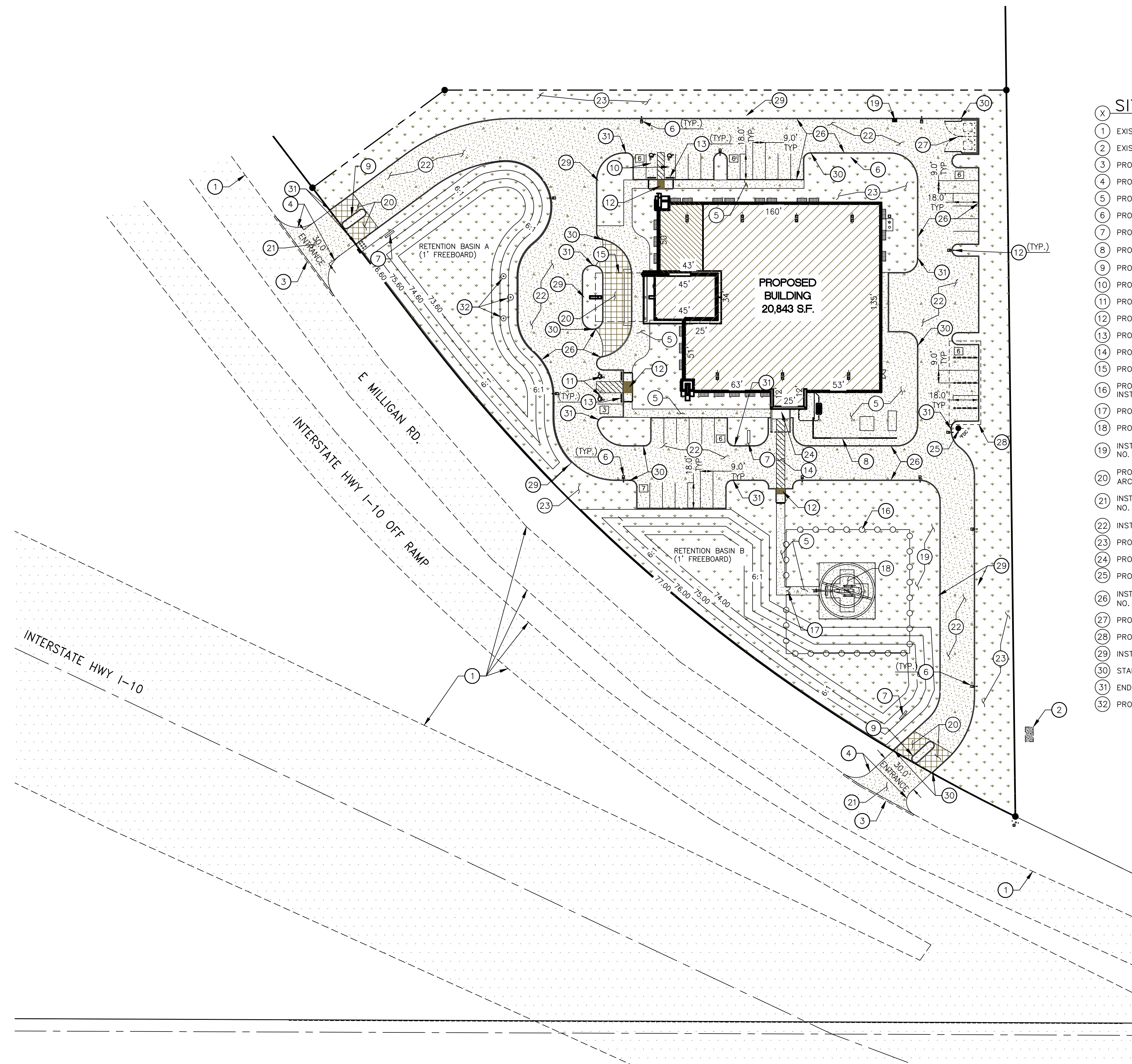
Civil On-Site
Site Plan

Set Date
July 31, 2023

[illegible]

SHEET NO.

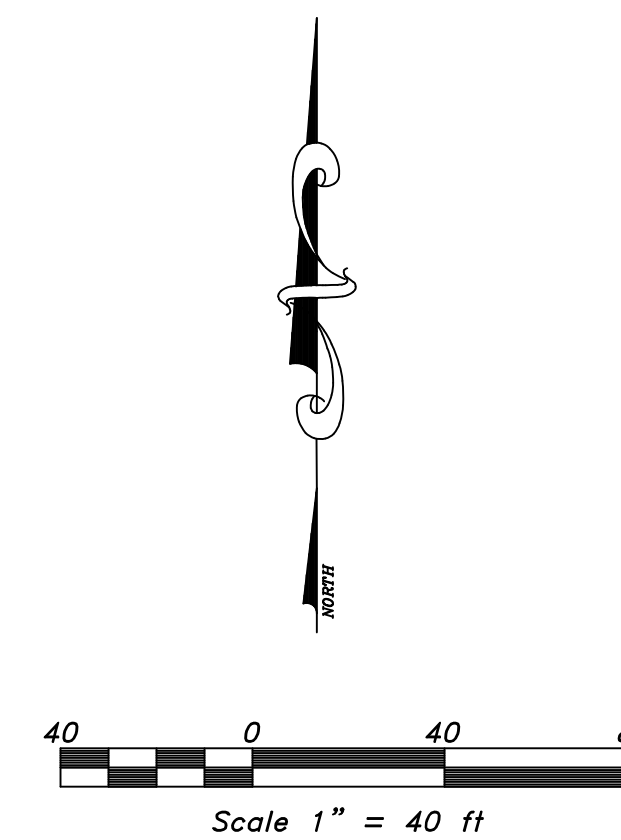
C4



SITE PLAN KEYNOTES

- (1) EXISTING EDGE OF PAVEMENT
- (2) EXISTING ELECTRICAL CABINET
- (3) PROPOSED SAWCUT LINE
- (4) PROPOSED EDGE OF CONCRETE
- (5) PROPOSED CONCRETE WALKWAY
- (6) PROPOSED EXTERIOR SITE LIGHTING
- (7) PROPOSED MONUMENT SIGN
- (8) PROPOSED 6" SCREEN WALL
- (9) PROPOSED 6" HIGH CONCRETE ISLAND
- (10) PROPOSED ADA ACCESSIBLE PARKING
- (11) PROPOSED ACCESSIBLE VAN PARKING
- (12) PROPOSED A.D.A. ACCESSIBLE RAMP
- (13) PROPOSED WHEEL STOP
- (14) PROPOSED PAINTED CROSS WALK STRIPING
- (15) PROPOSED COVERED PATIENT DROP-OFF
- (16) PROPOSED CHAIN LINK SECURITY FENCE TO BE INSTALLED AROUND HELIPAD AREA
- (17) PROPOSED GATE
- (18) PROPOSED STANDARD HOSPITAL HELIPORT
- (19) INSTALL CATCH BASIN TYPE 'F' PER MAG. STD. DETAIL NO. 535
- (20) PROPOSED COLORED CONCRETE AREA (SEE ARCHITECTURAL)
- (21) INSTALL RETURN TYPE DRIVEWAY PER MAG. STD. DETAIL NO. 251 (SEE DETAILS SHEET C2)
- (22) INSTALL 6" CONCRETE OVER 4" AGGREGATE BASE
- (23) PROPOSED LANDSCAPE AREA
- (24) PROPOSED COVERED AMBULANCE DROP-OFF
- (25) PROPOSED FIRE DEPARTMENT CONNECTION F.D.C.
- (26) INSTALL TYPE 'A' SINGLE CURB PER MAG. STD. DETAIL NO. 222 (SEE DETAILS SHEET C2)
- (27) PROPOSED TRASH ENCLOSURE
- (28) PROPOSED FREESTANDING COVERED PARKING
- (29) INSTALL FIRE LANE NO PARKING SIGN
- (30) START RED PAINTED FIRE LANE CURB
- (31) END RED PAINTED FIRE LANE CURB
- (32) PROPOSED FLAG POLE

	PROPOSED CONTOURS
	EXISTING CONTOURS
	PROPERTY LINE
	CENTERLINE STREET
	EASEMENT
	EXISTING FEATURE
	EXISTING SEWER
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED FIRE SERVICE
	EXISTING GASLINE
	PROPOSED GASLINE
	EXISTING UNDERGROUND LINE
	PROPOSED UNDERGROUND LINE
	EXISTING OVERHEAD UTILITY
(B.O.B.)	BASIS OF BEARING
X 1565.3	EXISTING SPOT ELEVATION
	EXISTING SIGN
	PROPOSED WATER METER
	PROPOSED BACKFLOW PREVENTOR
• CO.	PROPOSED SEWER CLEANOUT
•	LOT CORNER
	EXISTING SEWER MANHOLE
	PROPOSED SEWER MANHOLE
	EXISTING WATER GATE VALVE
	PROPOSED WATER GATE VALVE
	EXISTING FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE PROTECTION SERVICE
	EXISTING ASPHALT
	PROPOSED LANDSCAPE AREA
	EXISTING CONCRETE
	PROPOSED CONCRETE DRIVEWAY 6" PCC OVER 4" A.B.
	PROPOSED CONCRETE SIDEWALK 4" PCC OVER 4" A.B.
	PROPOSED BUILDING
	PROPOSED COLORED CONCRETE



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GRADING KEYNOTES

1. 1' SAW-CUT LINE (SEE DETAILS SHEET C2)
2. PROPOSED MONUMENT SIGN
3. PROPOSED CONTRASTING CONCRETE
4. PROPOSED 6" HIGH CONCRETE ISLAND
5. INSTALL HEADWALL PER MAG STD. DTL. NO 501-4 (SEE DETAILS SHEET C2)
6. PROPOSED ENTRANCE IMPROVEMENTS
7. PROPOSED FLOWLINE
8. INSTALL 2' CURB OPENING
9. INSTALL CATCH BASIN TYPE 'F' PER MAG STD. DETAIL NO. 535 (SEE DETAILS SHEET C2)
10. INSTALL 27'2" L.F. 12"Ø CMP CULVERT @ 0.5% SLOPE

ESTIMATED QUANTITIES:

ITEM	UNIT DESCRIPTION	QUANTITY	
1.	ASPHALT	128	SF
2.	CONCRETE AREA	48,769	SF
3.	CONCRETE SIDEWALK	9,962	SF
4.	6" SINGLE CURB	2,344	LF
5.	MONUMENT SIGN	2	EACH
6.	TRASH ENCLOSURE	1	EACH
7.	MASONRY SCREEN WALL	75	LF
8.	WHEEL STOP	4	EACH

RETENTION CALCULATIONS

```

DEVELOPED AREA:
RUNOFF AREA OF PROJECT SITE FOR RETENTION BASIN A:
    - 23,488 SF C=0.95 - PROPOSED PAVEMENT
    - 30,029 SF C=0.5 - PROPOSED DIRT SURFACE
CATCH BASIN:
    - 1,000 SF C=0.95 - PROPOSED BUILDING
    - 12,619 SF C=0.95 - PROPOSED PAVEMENT
    - 5,345 SF C=0.5 - DIRT SURFACE
PEAK DISCHARGE Q100: IDF CURVE REPORT ELOY CITY
100-YR EVENT
DURATION = 120 MIN
DURATION Tc = 10 MIN
AVERAGE RAINFALL INTENSITY I=118 IN/HR
INFLOW DEPTH = 1.79" FOR 100-YR EVENT
Q100 = 1.72 CFS @ 1.15 CFS
RUNOFF VOLUME=12,393 CF

```

VOLUME PROVIDED:
2'(H) V: 18,596 CFT
3'(H) V: 33,190 CFT (1' FREEBOARD)

RUNOFF AREA OF PROJECT SITE FOR RETENTION BASIN B:
 - 49,960 SF C=0.95 - MAX LOT COVERAGE (60%)
 - 33,307 SF C=0.5 - PROPOSED DIRT SURFACE
 PEAK DISCHARGE Q100: IDF CURVE REPORT ELOY CITY
 100-YR EVENT
 DURATION = 120 MIN
 DURATION Tc = 10 MIN
 AVERAGE RAINFALL INTENSITY I=1.18 IN/HR
 INFLOW DEPTH = 1.82" FOR 100-YR EVENT
 Q100 = 1.75 CFS @ 0.17 HRS
 RUNOFF VOLUME=12,609 CF

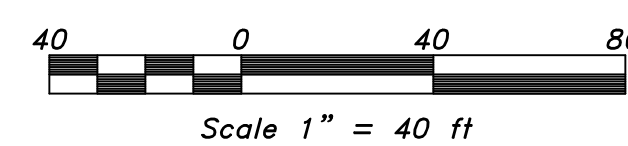
VOLUME PROVIDED:
2'(H) V: 15,550 CFT
3'(H) V: 29,188 CFT (1' FREEBOARD)

RETENTION BASIN TABLE

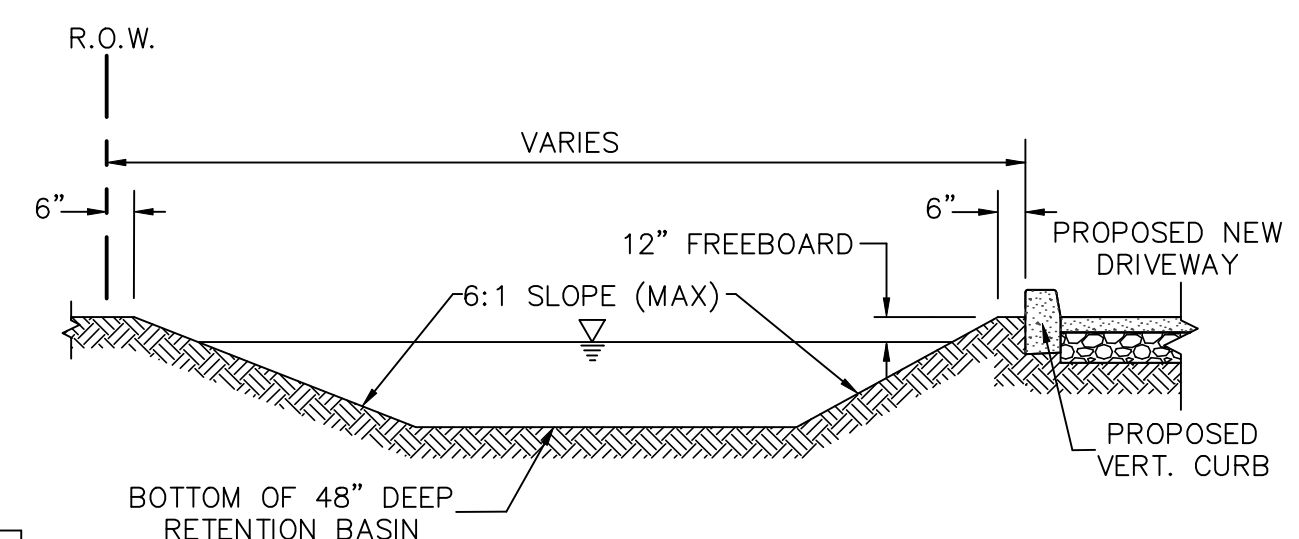
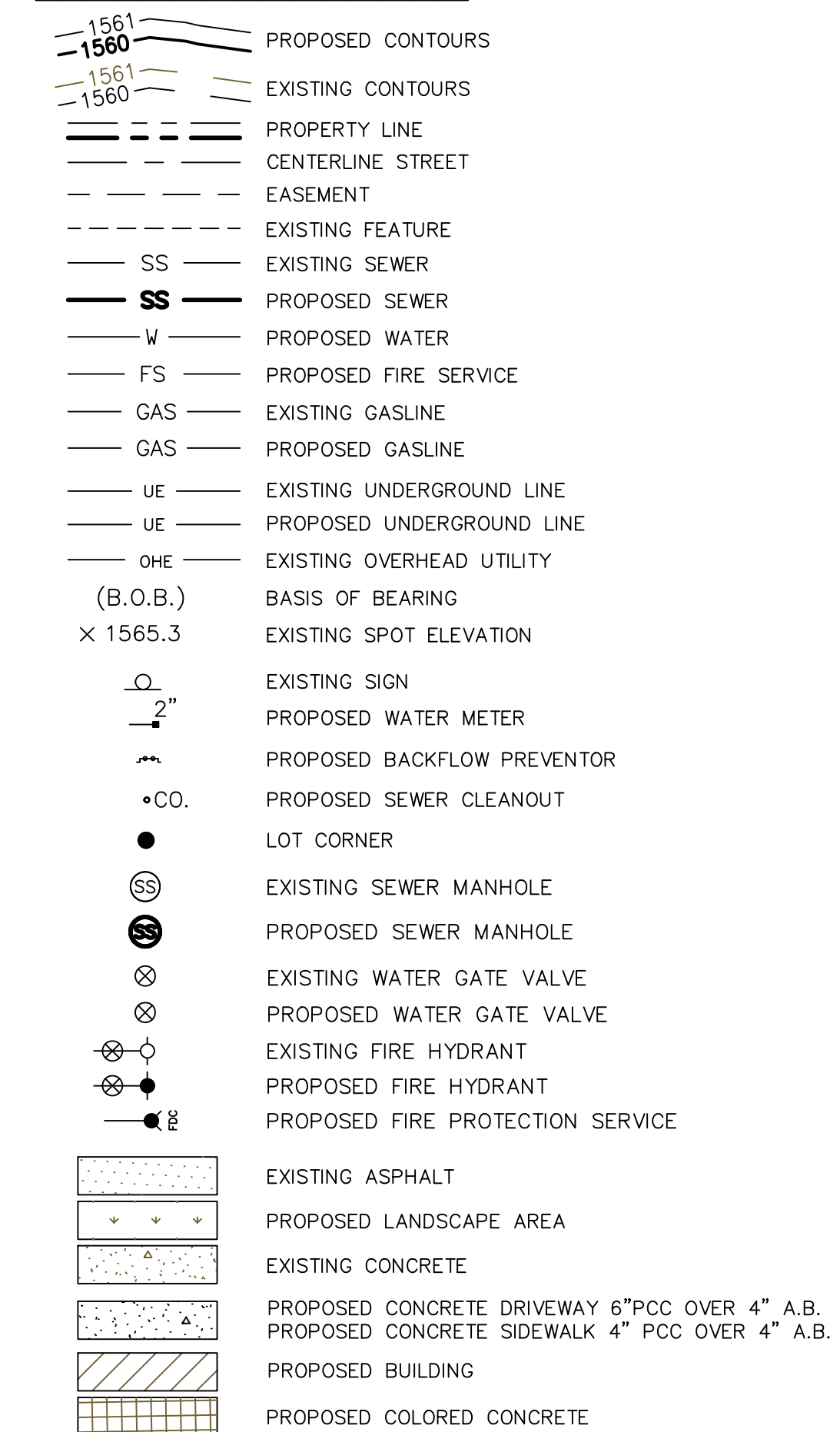
NAME	PROVIDED VOLUME, CF	BOTTOM	TOP
A	33,190	62.9	65.9
B	29,188	62.9	65.9
TOTAL PROVIDED: 62,378 CF			

GRADING NOTES:

1. THE UNDERSIGNED CIVIL ENGINEER, "OR ASSIGNED REPRESENTATIVE" IF SO RETAINED BY SPECIFIC CONTRACT, WILL OBSERVE THE GRADING AND ACCEPT THE RESPONSIBILITY FOR PROFESSIONAL INSPECTIONS IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE (2012 IBC CHAPTER 18-SOILS AND FOUNDATIONS) AND MUST BE SIGNED AND DATED. THE CIVIL ENGINEER ALSO SHALL BE RESPONSIBLE FOR THE PREPARATION OF REVISED PLANS AND THE SUBMISSION OF AS-GRADED PLANS UPON COMPLETION OF WORK.
2. ENGINEER MUST SET GRADE STAKES FOR ALL DRAINAGE DEVICES. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY INSPECTIONS BEFORE POURING.
3. NO FILL TO BE PLACED UNTIL PREPARATION OF THE ORIGINAL GROUND IS APPROVED.
4. NO ROCKS GREATER THAN 6 INCHES IN DIAMETER MAY BE PLACED IN FILL.
5. ALL FILL SHALL BE COMPACTED TO A MINIMUM OF 90% OF MAXIMUM DENSITY.
6. NUMBER OF TESTS TO BE MADE SHALL BE 1 TEST PER 2' FILL, OR 1 TEST PER 1000 C.Y., WHICHEVER IS GREATER.
7. THE ENGINEER SHALL DETERMINE THE PLACING AND COMPACTION METHODS AS WELL AS EQUIPMENT TO BE USED.
8. THE ENGINEER SHALL APPROVE THE BORROW LOCATION FOR FILL MATERIAL.
9. THE ENGINEER SHALL SUBMIT A CERTIFIED COMPACTION TEST REPORT AND OBTAIN APPROVAL PRIOR TO FOUNDATION INFLECTION.
10. THE ENGINEER OR TO BE CONTACTED TO SCHEDULE A SITE PRE-GRADING MEETING 48 HOURS PRIOR TO START OF GRADING.
11. A GEOTECHNICAL INVESTIGATION AND REPORT HAS BEEN COMPLETED BY NINYO & MOORE ON JUNE 9, 2023 PROJECT NO. 607685001.



LEGEND



TYPICAL RETENTION BASIN DETAIL A-A
N.T.S.

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4440 S. FORT MOH (9)

REGISTERED PROFESSIONAL ENGINEER (CIVIL)
 CERTIFICATE NO.
 14395
 R. LARRY
 MORSE
 Date Signed 7-7-2005
 ARIZONA, U.S.A.

Exceptional Healthcare
City OF Eloy, AZ

FIN Development Inc.
A Texas Corporation

Project Number
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Civil On-Site
Grading Plan

Set Date
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SHEET NO.

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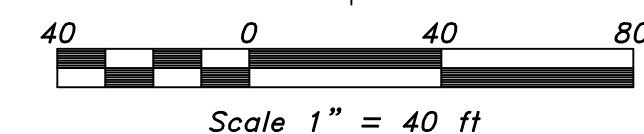
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- 1 EXISTING SANITARY SEWER MANHOLE
- 2 EXISTING 12" AC WATER MAIN
- 3 EXISTING GAS LINE
- 4 EXISTING UNDERGROUND ELECTRIC LINE
- 5 EXISTING ELECTRICAL CABINET
- 6 EXISTING GAS LINE CONNECTION
(TO BE DETERMINED BY OTHER)
- 7 EXISTING GAS VALVE
- 8 INSTALL 2" DOMESTIC WATERLINE
- 9 CONNECT PROPOSED 2" DOMESTIC WATER LINE
TO 2" METER
- 10 INSTALL PRIVATE REMOTE 6" FDC CONNECTION
- 11 INSTALL BACKFLOW PREVENTION
- 12 CONSTRUCT 6" C-900 CL150 PVC WATERLINE
PER MAG SPECIFICATIONS SECTION 600.
- 13 CONNECT TO EXISTING 12" WATER MAIN
- 14 INSTALL 8" BEND PER MAG STD DTL 380.
(SEE PLANS FOR DEGREE OF BEND).
- 15 INSTALL GATE VALVE & RISER PER
CONSTRUCT AND INSTALL FIRE HYDRANT
ASSEMBLY PER MAG STD DTL 360-1.
- 17 INSTALL GAS LINE
- 18 INSTALL GAS METER
- 19 INSTALL 12" CMP CULVERT
- 20 INSTALL UNDERGROUND PRIMARY ELECTRICAL LINE
- 21 INSTALL ELECTRIC METER
- 22 INSTALL TRANSFORMER AND GENERATOR (REFER
ARCHITECTURAL PLANS)
- 23 PROPOSED SEWER CONNECTION TO BUILDING
- 24 INSTALL SEWER CLEANOUT PER MAG
STANDARD DETAIL NO. 441
- 25 INSTALL 8" PVC SDR 35 SANITARY SEWERLINE PER MAG STD
SPECIFICATIONS SECTION 600.
- 26 CONSTRUCT 48" SANITARY SEWER MANHOLE PER MAG STD
DETAIL 420.
- 27 INSTALL GREASE INTERCEPTOR
- 28 INSTALL CATCH BASIN TYPE 'F' PER MAG STD. DETAIL. NO. 535
- 29 INSTALL HEADWALL
- 30 PROPOSED 3/4" IRRIGATION WATER LINE

	PROPOSED CONTOURS
	EXISTING CONTOURS
	PROPERTY LINE
	CENTERLINE STREET
	EASEMENT
	EXISTING FEATURE
	EXISTING SEWER
	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED FIRE SERVICE
	EXISTING GASLINE
	PROPOSED GASLINE
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× 1565.3	EXISTING SPOT ELEVATION
	EXISTING SIGN
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	PROPOSED BACKFLOW PREVENTOR
• CO.	PROPOSED SEWER CLEANOUT
●	LOT CORNER
⊙	EXISTING SEWER MANHOLE
⊗	PROPOSED SEWER MANHOLE
⊗	EXISTING WATER GATE VALVE
⊗	PROPOSED WATER GATE VALVE
⊗	EXISTING FIRE HYDRANT
⊗	PROPOSED FIRE HYDRANT
⊗	PROPOSED FIRE PROTECTION SERVICE
	EXISTING ASPHALT
	PROPOSED LANDSCAPE AREA
	EXISTING CONCRETE
	PROPOSED CONCRETE DRIVEWAY 6\"/>
	PROPOSED CONCRETE SIDEWALK 4\"/>
	PROPOSED BUILDING
	PROPOSED COLORED CONCRETE

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ARIZONA, U.S.A.

Exceptional Healthcare
City OF Eloy, AZ
FIN Development Inc.
A Texas Corporation

Project Number
8056-06

Will On-Site Utility Plan

Set Date
y 31, 2023

[illegible]

EET NO.

C6

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CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VIII.B.**

Date: **9/20/2023**

Date submitted:
08/24/2023

Action: Formal

Subject: Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, denial or continuance of Conditional Use Permit, Case No.: CUP2023-030. (Project Name: Exceptional Healthcare Community Hospital - Eloy)

TO: Planning and Zoning Commission

FROM: David Malewitz, Belinda Cota

RECOMMENDATION:

Staff is recommending approval of Case No.: CUP2023-030 (Project Name: Exceptional Healthcare Community Hospital-Eloy)

DISCUSSION:

FISCAL IMPACT:

N/A