



CITY OF ELOY

THE CITY OF ELOY
PLANNING & ZONING COMMISSION MEETING
Thursday, May 19, 2022, 6:00 PM
Eloy City Council Chambers-City Hall
595 North C Street
Eloy, Arizona 85131

AGENDA

- I. Call to Order**
- II. Roll Call**
- III. Invocation**
- IV. Pledge of Allegiance**
- V. Motion to approve the January 19, 2022 meeting minutes of the Planning and Zoning Commission**
 - A. Meeting Minutes
- VI. Old Business: Possible discussion and/or action on the following:**
- VII. New Business: Possible discussion and/or action on the following:**
 - A. Public Hearing to allow comment from the public and interested parties on proposed Case No.: CUP2022-008: Application by Tower Engineering Professionals, c/o Carol Kincheloe representing Dish Wireless to request a Conditional Use Permit to collocate telecommunications equipment on an existing 90 – foot high light pole located at the existing George Washington Carver School (304 W. Alsdorf Road, Eloy, Arizona 85131) (owned by Pinal County School District 11 Eloy, c/o Ruby James, Superintendent), on Pinal County Assessor's Parcel Number: 405-06-072 in a portion of Section 6, Township 8 South, Range 8 East of the Gila & Salt River Base & Meridian, Pinal County, Arizona (Project Name: Dish Network Site Number PXPXH00247B)
 - B. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval, or other action on Case No.: CUP2022-008 (Project Name: Dish Network Site Number PXPXH00247B)
 - C. Public Hearing to allow comment from the public and interested parties on the proposed Case No.: CUP2022-017: Application by Tropic Networks, c/o Kelsie Miller, to request a Conditional Use Permit to collocate telecommunications equipment to be affixed at a height of approximately 125' on an existing 139' high monopole antenna located at the Toltec Elementary School (3315 North Toltec Road, Eloy, Arizona 8513). The existing

monopole is located to the west of the school buildings and in the center portion of the parcel on Pinal County Assessor's Parcel Number: 403-07-1610 in a portion of Section 28, Township 7 South, Range 7 East of the Gila and Salt River Based and Meridian, Pinal County, Arizona. (Project Name: Trepic Networks)

- D. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval, or other action on Case No.: CUP2022-017 (Project Name: Trepic Networks)
- E. Public Hearing to allow comment from the public and interested parties on proposed Case No.: CUP2022-018: Application by Francis Roses for a Conditional Use Permit to install seven (7) manufactured homes (model year 2022) for employee housing at 4550 E Milligan Road, Eloy, Arizona 85131 to support rose breeding, propagation and shipping operations within an approximate 10.00 acre internal tract, on a portion of Assessor's Parcel Number 411-01-004A, with the tract more specifically described as the W1/2 of the W1/2 of the SW1/4 of the SE1/4 of Section 12 of Township 8 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona (Project Name: Red Rose)
- F. Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval or other action on Case No.: CUP2022-018 (Project Name: Red Rose)

VIII. Informational Item:

- A. Ex-Officio Member Announcements
- B. Community Development Director Announcements

IX. Communications:

- A. Commissioners May Share Information or Inquire About City Related Activities

X. Motion to Adjourn

POSTED BY FRIDAY, MAY 13, 2022 BY 5 PM AT ELOY CITY HALL, ELOY POST OFFICE, TROY THOMAS COMMUNITY CENTER, TOLTEC COMMUNITY/SENIOR CENTER AND CITY WEBSITE: www.elayaz.gov



Mary Myers, MMC, CPM
City Clerk

INDIVIDUALS WITH SPECIAL ACCESSIBILITY NEEDS MAY CONTACT LORENA LaSALDE-RIOS, ADA COORDINATOR FOR THE CITY OF ELOY AT 520-466-9201 OR 520-466-7455 (TDD). IF POSSIBLE, SUCH REQUESTS SHOULD BE MADE 72 HOURS IN ADVANCE. ONE OR MORE MEMBERS OF THE COMMISSION AND/OR STAFF MAY PARTICIPATE BY TELEPHONIC OR VIDEO MEANS.

**MEETING MINUTES OF
THE CITY OF ELOY
PLANNING AND ZONING COMMISSION
Regular Meeting
Wednesday, January 19, 2022
6:00 p.m.**

I. CALL TO ORDER

Chairperson Larry Brown called the meeting to order at 6:00 p.m.

II. ROLL CALL

*One or more members of the Planning and Zoning Commission may attend by telephonic means.

Members present:

- Chairperson Larry Brown
- Vice-Chairperson John Peterson
- Commissioner Allen Crawford
- Commissioner Steven Paulson
- Commissioner Conrad Tolson
- Alternate-Commissioner Edward Saucedo
- Ex-Officio Sara Curtis

Members Absent:

- None

Staff present:

- Jon Vlaming, Community Development Director
- Belinda Cota, Planner

Others present:

- Jeff Uhrick, B & R Engineering
- Vice-Mayor Dan Snyder (arrived at 6:18 pm)

III. INVOCATION

Chairperson Brown led the Invocation and requested a moment of silence.

IV. PLEDGE OF ALLEGIANCE

Chairperson Brown led the recitation of the Pledge of Allegiance.

V. MOTION TO APPROVE THE DECEMBER 15, 2021 MEETING MINUTES OF THE PLANNING AND ZONING COMMISSION.

Chairperson Brown asked for a motion to approve the meeting minutes of the Planning and Zoning Commission. Commissioner Allen made a motion to approve the December 15, 2021 meeting minutes as presented. Commissioner Tolson provided a second to the motion with the stipulations to amend the meeting minutes. The motion was approved with a vote 5-0.

Stipulations to amend the meeting minutes: Page 4 of 7-delete an extra letter “H”, page 5 of 7-delete the word “to” and replace with “rather than”, page 6 of 7-replace the word “occasionally” with “however”.

VI. OLD BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

None.

VII. NEW BUSINESS: POSSIBLE DISCUSSION AND/OR ACTION ON THE FOLLOWING:

A. COMMISSION TO NOMINATE AND ELECT A CHAIRPERSON FOR CALENDAR YEAR 2022.

Commissioner Crawford nominated Steve Paulson to serve as the Chairperson for calendar year 2022. Chairperson Brown provided a second to the nomination. The motion was approved with a vote of 5-0.

B. COMMISSION TO NOMINATE AND ELECT A VICE CHAIRPERSON FOR CALENDAR YEAR 2022.

Commissioner Crawford nominated Conrad Tolson to be the Vice-Chairperson for calendar year 2022. Chairperson Brown provided a second to the nomination. The motion was approved with a vote of 5-0.

C. CONSIDERATION, DISCUSSION, AND RECOMMENDATION TO THE ELOY CITY COUNCIL FOR APPROVAL, APPROVAL WITH CONDITIONS, OR DISAPPROVAL OR OTHER ACTION ON CASE NO.: PP2021-039. PRELIMINARY PLAT FOR ROBSON RANCH UNIT TWENTY “E” (20E) SUBDIVIDING 20.34 ACRES INTO 150 LOTS.

Mr. Vlaming gave a brief introduction of the project and mentioned that everyone on the Commission received a meeting packet for this evening and asked if anyone had any questions for staff or the applicant as there was representation. Vice-Chair Peterson asked if the housing product being proposed on the subject plat were single-family homes or duplexes. Jeff Uhrick with B&R Engineering was present and introduced

himself. He responded that they would be single-family homes. Commissioner Tolson made the following suggestion to be amended: Correct the zoning designation on the staff report from R1-6 to R-3 as per the Eloy Zoning map and correct the spelling of Hohokam Way. Commissioner Tolson commented that under physical impact, RAD is mentioned as the solid waste provider and suggested maybe not say RAD but perhaps say solid waste collection service to leave some flexibility. Mr. Vlaming explained that the City has a contract with RAD that would expire in April of this year and their contract will be in front of the Eloy City Council for consideration. He was told that it is probable that RAD will be contracted as the solid waste collection services provider for the City.

Ex-Officio Sara Curtis asked if the verbiage was in there and the city was to change the service provider, would it affect the plat negatively.

Mr. Vlaming explained it would not affect the validity of the plat going forward.

Chairperson Brown asked for a motion. Commissioner Crawford made a motion to recommend approval of the Preliminary Plat for Robson Ranch Unit Twenty "E" (20E) with the stipulations on the staff report and the amendments suggested to be made on the staff report to the Eloy City Council. Commissioner Tolson provided a second to the motion. The motion was approved with a vote of 5-0.

VIII. INFORMATIONAL ITEMS:

A. EX-OFFICIO MEMBER ANNOUNCEMENTS

Ex-officio Curtis communicated the following:

- Two landscape projects (proposed for the Shedd Road median and the southern right of way of Frontier Street) were to be rebid separately in the coming weeks. She noted that Mr. Vlaming indicated the City hoped to get valid bids by separating the project when these go out for a bid. She added they hope the projects can get under way soon so they can be completed before summer.
- City Landfill Update: City Council put the lease negotiation on a permanent hold because several of the council members were not comfortable with how much trash would be coming in and how the trash pile would expand. She indicated there were numerous other issues surrounding this decision and that the Council received a lot of feedback from the community. She noted that many people were against it for a variety of reasons. The Council wants to listen to public opinion, but having said that, they know that something needs to be done with the landfill. She indicated that they will be having a work session where they will be reviewing a report from staff that will provide more details of the finances. They will also start to brain storm other solutions. She concluded by stating that nothing will be decided at that meeting, it is just for the public's information, but the lease negotiations are definitely off the table for now.

B. COMMUNITY DEVELOPMENT DIRECTOR ANNOUNCEMENTS

Mr. Vlaming communicated the following:

- The 2022 Major General Plan Amendment (GPA)-All major GPAs are due by late June as they have to be reviewed and considered within the calendar year that they are proposed. The calendar is online and everyone can see it. He noted that the City will be looking at one major general plan amendment in particular and may have others considering the kind of interest staff has been receiving in the past couple of months. One that staff will be reviewing is for a portion of the eastern part of the Eloy planning area, specifically south of the Santa Rosa Canal that runs over by Houser Road and to the east of the planning area that terminates at the CAP Canal. This area will also extend down to Pretzer Road and the consultant and staff will take a hard look at that area. There is a significant amount of private and State land owners within this area of study and noted that as they proceed, staff will be bringing briefings to the Commission to evaluate concepts and review the draft document.
- Commissioner Peterson's last meeting serving as a Planning and Zoning Commissioner-Everyone thanked John Peterson for serving the City of Eloy since January 2009. This would be his last meeting as he has decided not to put his application in for another term to be potentially be re-appointed. Everyone present thanked him for his service.

IX. COMMUNICATIONS:

A. COMMISSIONERS MAY SHARE INFORMATION OR INQUIRE ABOUT CITY RELATED ACTIVITIES.

- None.

X. MOTION TO ADJOURN.

Chairperson Brown asked for a motion to adjourn. Commissioner Crawford made a motion to adjourn and was provided a second by Commissioner Tolson. The adjournment motion passed 5-0 and the meeting adjourned at approximately 6:25 p.m.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.A.**

Date: **5/19/2022**

Date submitted:
05/06/2022

Action: Other

Date requested:
5/19/2022

Subject: Public Hearing to allow comment from the public and interested parties on proposed Case No.: CUP2022-008: Application by Tower Engineering Professionals, c/o Carol Kincheloe representing Dish Wireless to request a Conditional Use Permit to collocate telecommunications equipment on an existing 90 – foot high light pole located at the existing George Washington Carver School (304 W. Alsdorf Road, Eloy, Arizona 85131) (owned by Pinal County School District 11 Eloy, c/o Ruby James, Superintendent), on Pinal County Assessor's Parcel Number: 405-06-072 in a portion of Section 6, Township 8 South, Range 8 East of the Gila & Salt River Base & Meridian, Pinal County, Arizona (Project Name: Dish Network Site Number PXPXH00247B)

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve (with conditions) a Conditional Use Permit application by Tower Engineering Professionals representing Dish Wireless to collocate telecommunications equipment on an existing 90-foot light pole supported by ground equipment contained within a 10'-0" X 15'-0" fenced ground lease area located at the George Washington Carver School (403 W. Alsdorf Road) on a parcel (APN 405-06-072) owned by Pinal County School District 11 Eloy (c/o Ruby James, Superintendent).

DISCUSSION:

The City received an application from Tower Engineering Professionals to collocate and install three (3) antennas, six (6) RRU's, and related telecommunications equipment on an existing 90-foot high light pole. Additionally, one (1) metal platform, one (1) new equipment cabinet and related ground equipment will be installed within the proposed 10' x 15' chain link fence compound. The facility is unmanned and is not suitable for human habitation.

The proposed modification will not increase the height of the existing light pole and will provide more communication capacity for the surrounding area as well as improve safety by providing more reliable E-911 coverage. According to the FCC, Section 6409 of the Spectrum Act, this proposed modification is an eligible facilities request.

The applicant held a preapplication meeting with city staff on February 4, 2022 and notified and conducted a neighborhood meeting on March 30, 2022. The input provided at the neighborhood Zoom meeting (attended by 1 person), indicated no opposition to the proposed request.

The subject property is designated as P/I (Public/Institutional) on the Eloy General Plan Land Use Plan and is zoned R-3 (Multiple Family Residential) with a Downtown Core Overlay (DCO) on the Official Eloy Zoning Map. If approved, this request would be in conformance with the Eloy General Plan and the Eloy Zoning Ordinance as per Eloy City Code, Chapter 21-Zoning, Section 21-2-2.3: Residential Use Standards-Wireless Facility (including towers and supporting facilities) is a permitted use with an approved Conditional Use Permit.

As required by ARS § 9-462.04, this item will be conducted as a "Public Hearing". Notice of the public hearing was given at least fifteen (15) days before the hearing for publication of the notice in the Eloy Enterprise, a copy of the public notice was sent out via regular mail to property owner's within 300 feet of the subject parcel and posting of the notice at the official City posting locations.

RECOMMENDATIONS:

Staff recommends that this request for a Conditional Use Permit be **approved** subject to the following 14 conditions:

1. That the equipment shall be installed within a period of twelve (12) months from the date of City Council approval of this conditional use permit, or this conditional use permit shall become null and void;
2. That approval of this Conditional Use Permit shall be for a maximum of five (5) years from the date of Council approval;
3. That, within one (1) year prior to its expiration date, the owner shall renew the conditional use permit through submittal of an Administrative Waiver to the Community Development Department.

4. That a Building Permit shall be obtained through the Eloy Building Safety Division;
5. That a Right-of-way permit application and fee shall be submitted to the Public Works Department for any work conducted in the City's right-of-way;
6. That a map of the service area for this facility shall be submitted at the time of building plan submittal;
7. That development of the conditional use shall be in substantial conformance with the Overall and Enlarged Site Plan (Sheet A-1) dated 10/08/2021;
8. That the light pole and ground equipment shall comply with ALL conditions, if identified by the FAA;
9. That the ground equipment and related structures, if any, shall use materials, colors, textures, screening that would blend into the existing exterior building color and existing landscape setting;
10. That the above ground equipment cabinet should be completely screened by the existing chain link fence;
11. That all equipment shall be unmanned and shall comply with all applicable building codes;
12. That any exterior lighting shall be fully shielded within the fenced area and shall be mounted on poles or on the equipment box below the height of the existing chain-link fence;
13. That no signs shall be allowed on the light pole or any portion of the lease area except for the identification of a permanently installed plaque or marker, no larger than 4" x 6", clearly identifying the provider's name, address, and emergency phone number; and
14. That the light pole shall allow for co-location by at least three (3) other wireless communication providers. The owner must certify that the light pole is available for use by other wireless telecommunications providers on a reasonable, non-discriminatory basis prior to the issuance of a building permit.

FISCAL IMPACT:

There is not a direct fiscal impact on the City if this request is approved. However, the upgrade in cell phone/handheld device service will initially benefit existing and future Dish Network customers in the area and traveling within proximity to the proposed site.

1/27/2022

City of Eloy
Planning Division

Re: PXPXH00247B_304 West Alsdorf Rd, Eloy, AZ 85131
Eligible Facilities Request: Minor Modification to Existing Wireless Facility

Dear Pinal County:

As it moves to deploy a new, national 5G broadband network, DISH Wireless L.L.C. ("Dish Wireless") is pleased to submit the attached, as application to install equipment and initiate operations at the above existing, permitted and approved wireless communications facility.

Please see the scope of work and details within the submittal attached, for specific information related to this installation -- as proposed, this minor modification will not substantially change the physical dimensions of the existing wireless tower or facility.

This project will help support the 5G connectivity needs of residents, businesses, public services, education, health care and first responders. DISH Wireless looks forward to working cooperatively with you to advance these important efforts in your community.

This submittal constitutes a minor modification as an Eligible Facilities Request (EFR) under Section 6409(a) of the Middle-Class Tax Relief and Job Creation Act of 2012 ("Spectrum Act") and the rules of the Federal Communications Commission ("FCC"). (*See Pub. Law No. 112-96, 126 Stat. 156 (2012); 47 C.F.R. §1.6100*) . Please accept this letter as confirmation that, as of the date of this letter, Dish Wireless has taken the first step required for the above request, initiating the review period.

DISH Wireless is committed to working cooperatively with you to process this EFR in a timely and effective manner. We also understand that these are challenging times and that COVID-19 can present significant difficulties in the continuation and provision of public services. We welcome the opportunity to discuss and answer any questions or concerns you may have to facilitate the local review process and timely deployment of our communications infrastructure.

We look forward to developing a long-term, collaborative working relationship with you, as well as enhancing communications and networking services in your

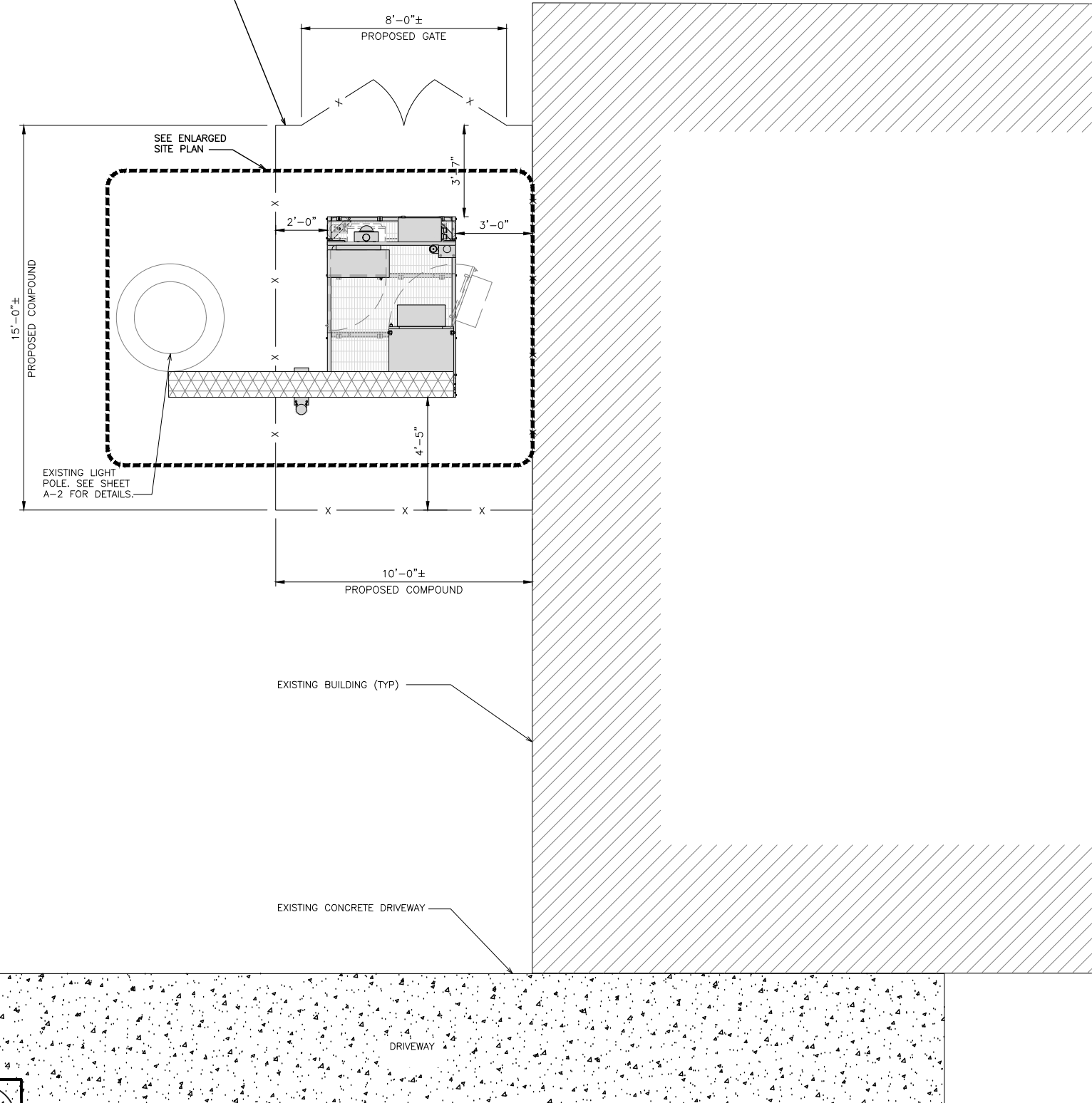
community. Please do not hesitate to contact me if you have any questions or need any additional information.

Respectfully submitted,

Carol Kincheloe
Site Acquisition|Tower Engineering Professionals, Inc.
4710 E. Elwood St., Suite 9 | Phoenix, AZ 85040
619-488-0933



PROPOSED 8' HIGH CHAIN-LINK
FENCED COMPOUND BY DISH
WIRELESS, L.L.C.

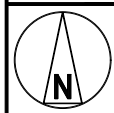
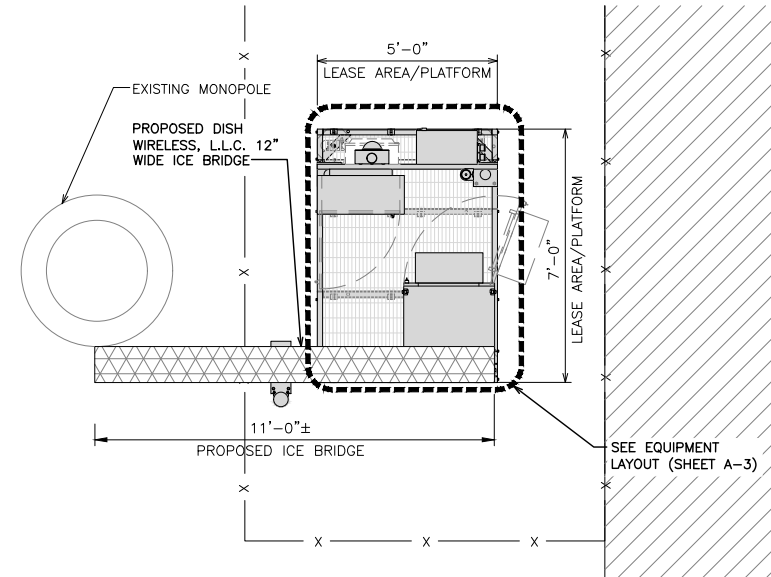


NOTES

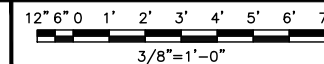
1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.
3. THE TOWER IS LOCATED IN ZONE "X." AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN ACCORDING TO FEMA COMMUNITY PANEL #04021C1956F, DATED MAY 16, 2019.

NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.
2. CONTRACTOR SHALL MAINTAIN A 10'-0" MINIMUM SEPARATION BETWEEN THE PROPOSED GPS UNIT, TRANSMITTING ANTENNAS AND EXISTING GPS UNITS.
3. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.



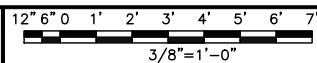
ENLARGED SITE PLAN



2



OVERALL SITE PLAN



1

NOT USED

NO SCALE

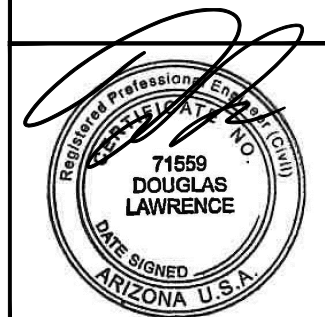
3

dish
wireless.

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOWER ENGINEERING PROFESSIONALS
326 TRYON RD. RALEIGH, NC 27603
OFFICE: (919) 661-6351
NC LIC# P-1403



Expires: 06/30/2023

October 8, 2021

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

DRAWN BY: CHECKED BY: APPROVED BY:

ODS DL DL

RFDS REV #: TBD

PRELIMINARY DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	09-08-21	PRELIMINARY
0	09-29-21	CONSTRUCTION
1	10-08-21	CONSTRUCTION

A&E PROJECT NUMBER
304876.284328

DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
**OVERALL AND ENLARGED
SITE PLAN**

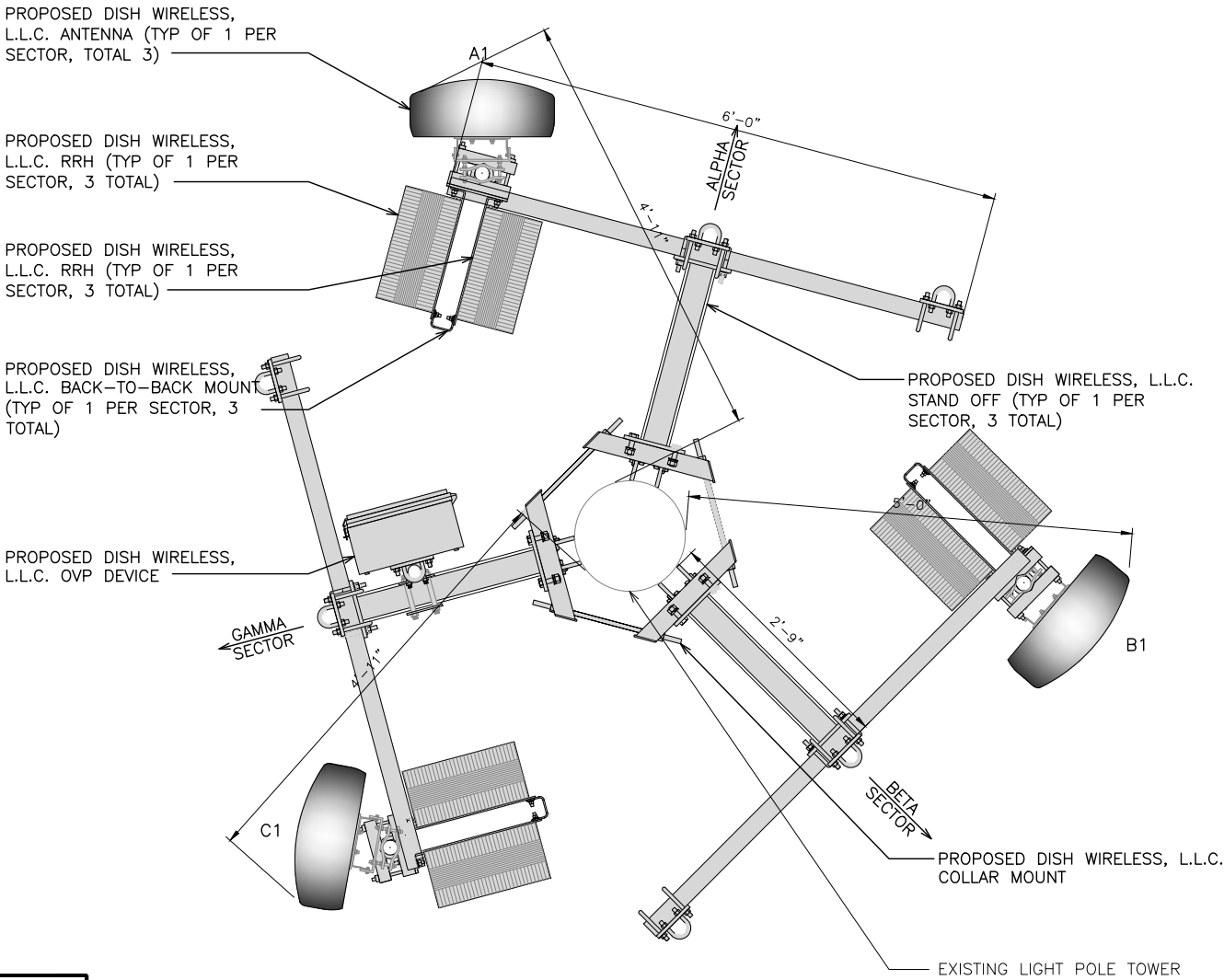
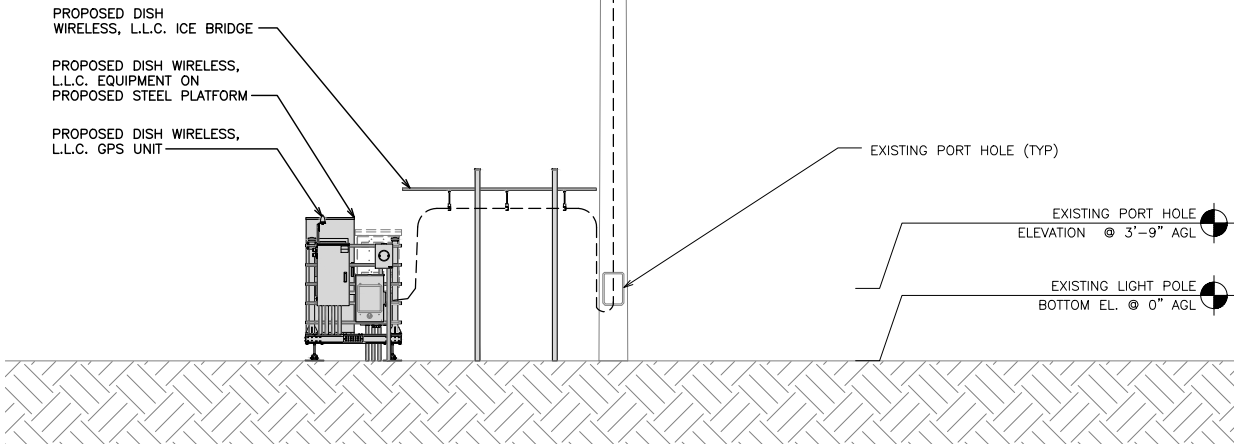
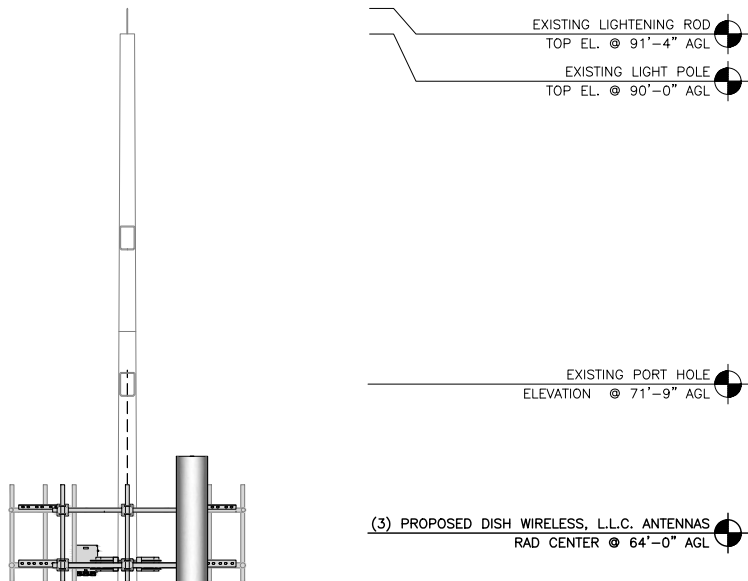
SHEET NUMBER

A-1

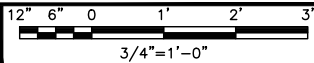
NOTES

1. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS.

2. ANTENNA SPECIFICATIONS REFER TO ANTENNA SCHEDULE AND TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS.



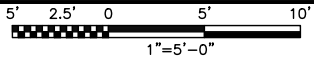
ANTENNA LAYOUT



2

SECTOR	POSITION	ANTENNA									TRANSMISSION CABLE
		EXISTING OR PROPOSED	MANUFACTURER – MODEL NUMBER	TECHNOLOGY	SIZE (HxW)	RAD CENTER	AZIMUTH	M-TILT	LOWBAND E-TILT (PORT 1-4)	MIDBAND E-TILT (PORT 5-8)	FEED LINE TYPE AND LENGTH
ALPHA	A1	PROPOSED	CMA-UBTULBULBHH/6516/16/21/21	5G	72.4" x 26.7"	75'-0"	20'	0	4	2	(1) HIGH-CAPACITY HYBRID CABLE (110' LONG)
BETA	B1	PROPOSED	CMA-UBTULBULBHH/6516/16/21/21	5G	72.4" x 26.7"	75'-0"	130'	0	4	2	
GAMMA	C1	PROPOSED	CMA-UBTULBULBHH/6516/16/21/21	5G	72.4" x 26.7"	75'-0"	280'	0	4	2	
SECTOR	POSITION	RRH			NOTES						
		MANUFACTURER – MODEL NUMBER	TECHNOLOGY								
ALPHA	A1	FUJITSU – TA08025-B604	5G	1. CONTRACTOR TO REFER TO FINAL CONSTRUCTION RFDS FOR ALL RF DETAILS. 2. ANTENNA AND RRH MODELS MAY CHANGE DUE TO EQUIPMENT AVAILABILITY. ALL EQUIPMENT CHANGES MUST BE APPROVED AND REMAIN IN COMPLIANCE WITH THE PROPOSED DESIGN AND STRUCTURAL ANALYSES.							
	A1	FUJITSU – TA08025-B605	5G								
BETA	B1	FUJITSU – TA08025-B604	5G								
	B1	FUJITSU – TA08025-B605	5G								
GAMMA	C1	FUJITSU – TA08025-B604	5G								
	C1	FUJITSU – TA08025-B605	5G								

PROPOSED NORTH ELEVATION



1

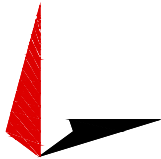
ANTENNA SCHEDULE

NO SCALE

3

dish
wireless

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOWER ENGINEERING PROFESSIONALS
326 TRYON RD. RALEIGH, NC 27603
OFFICE: (919) 661-6351
NC LIC# P-1403



Expires: 06/30/2023

October 8, 2021

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DRAWN BY: CHECKED BY: APPROVED BY:

ODS

DL

DL

RFDS REV #: TBD

PRELIMINARY
DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	09-08-21	PRELIMINARY
0	09-29-21	CONSTRUCTION
1	10-08-21	CONSTRUCTION

A&E PROJECT NUMBER
304876.284328

DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
ELEVATION, ANTENNA
LAYOUT AND SCHEDULE

SHEET NUMBER

A-2

23

4



- A-3**

ENERSYS HVAC CABINET

2000005995

DIMENSIONS (HxWxD):	73"x30"x32"
WEIGHT EMPTY:	371 lbs
HVAC	600W
POWER SYSTEM	-48V ALPHA/600A

PLAN

SIDE

FRONT

SIDE

BACK

CABINET DETAIL

NO SCALE

1

RAYCAP PPC

RDIAC-2465-P-240-MTS

ENCLOSURE DIMENSIONS (HxWxD):	39"x22.855"x12.593
WEIGHT:	80 lbs
OPERATING AC VOLTAGE	240/120 1 PHASE 3W+G

TOP

BACK

SIDE

FRONT

SIDE

POWER PROTECTION CABINET (PPC) DETAIL

NO SCALE

2

SQUARE D SAFETY SWITCHES

D224NRB

ENCLOSURE DIM (HxWxD)	29.25"x19.00"x8.50"
ENCLOSURE TYPE	NEMA 3R RAINPROOF
UL LISTED	FILE E-2875

SIDE

FRONT

SAFETY SWITCH DETAIL

NO SCALE

3

EATON METER SOCKET

UNRRS213BEUSE

METER SOCKET TYPE	RING
ENCLOSURE DIM (HxWxD)	16"x12"x6"
MAIN AMPERE RATING	200A
WEIGHT	18 LBS

PLAN

SIDE

BACK

FRONT

METER SOCKET DETAIL

NO SCALE

4

ZAYO 5RU CABINET

LEFT SWING DOOR ("LIT" SITES)

DIMENSIONS (HxWxD)	36.115"x29"x12.9"
WEIGHT	85 LBS
POWER INPUT	20A, -48VDC

PLAN

FRONT

SIDE

BACK

NETWORK INTERFACE UNIT DETAIL

NO SCALE

5

CHARLES CFIT-PF2020DSH1

FIBER TELCO ENCLOSURE

ENCLOSURE DIMS (HxWxD)	20"x20"x9"
ENCLOSURE WEIGHT	20 lbs
MOUNTING	WALL
COMPLIANCE	TYPE 4

FRONT

SIDE

BACK

FRONT

FIBER TELCO ENCLOSURE DETAIL

NO SCALE

6

COMMSCOPE WB-K110-B

WAVEGUIDE BRIDGE KIT

DIMENSIONS (HxL)	160"x10'
WEIGHT/ VOLUME	325.0 LBS
CABLE RUN (QTY)	12

INCLUDED PRODUCTS:

WB-T12-3 TRAPEZE KIT,
3 RUNGS

WB-LB12-3 SUPPORT BRACKET

MF-130 DIRECT BURIAL PIPE
COLUMN, 13'-4"

PLAN

FRONT

SIDE

ICE BRIDGE DETAIL

NO SCALE

7

FINISH SLOPE
TO DRAIN

A-A

A-A

PROPOSED 3.5" DIA.
SCH 40 PIPE
GALVANIZED

PROPOSED 1'-6"
DIA. CONCRETE
PIER (TYP)

CONCRETE PIER

3" DIA SCH 40 PIPE

18" DIA DRILLED
PIER FOUNDATION

A-A SECTION

1'-6"

TYPICAL ICE BRIDGE CONCRETE PIER DETAIL

NO SCALE

8

PROPOSED ICE BRIDGE

PROPOSED 1.4" DIA
HYBRID CABLE

PROPOSED CABLE CLAMP
@ 3'-0" O.C.

EXISTING ENTRY PORT

EXISTING LIGHT POLE

HYBRID CABLE RUN

NO SCALE

9



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOWER ENGINEERING PROFESSIONALS
326 TRYON RD. RALEIGH, NC 27603
OFFICE: (919) 661-6351
NC LIC# P-1403



Expires: 06/30/2023

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DL

RFDS REV #: TBD

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DOCUMENTS

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A&E PROJECT NUMBER
304876.284328

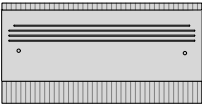
DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

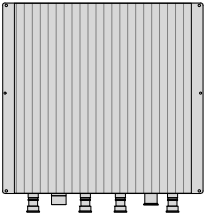
SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER
A-4

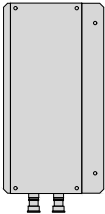
FUJITSU DUAL BAND TA08025-B604	
DIMENSIONS (HxWxD)	14.9"x15.7"x7.8"
WEIGHT	63.9 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR
POWER SUPPLY	DC -58~-36V



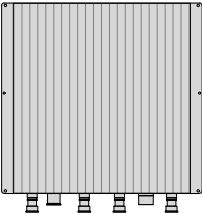
PLAN



BACK

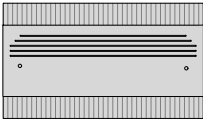


SIDE

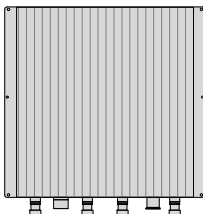


FRONT

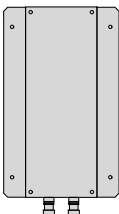
FUJITSU TRIPLE BAND TA08025-B605	
DIMENSIONS (HxWxD)	14.9"x15.7"x9"
WEIGHT	74.95 lbs
CONNECTOR TYPE	4.3-10 RF CONNECTOR
POWER SUPPLY	DC -58~-36V



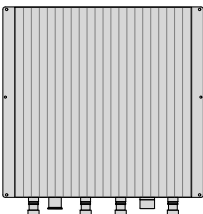
PLAN



BACK



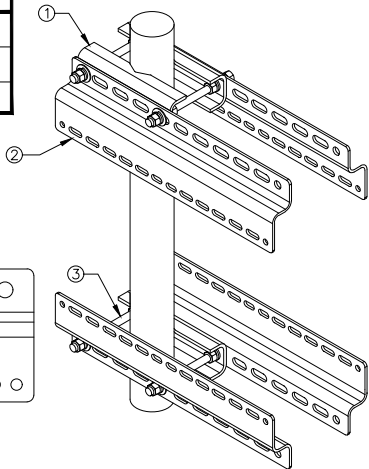
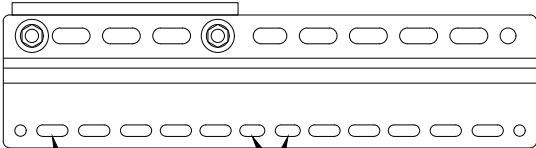
SIDE



FRONT

SABRE INDUSTRIES RRU BRACKET MOUNT C10123155	
DIMENSIONS (HxWxD) (1 BRACKET)	5"x20"x1-13/16"
WEIGHT (FULL ASSEMBLY)	35.79 lbs
PACKAGE QUANTITY	4

ITEM#	DESCRIPTION
1	PLATE, CHANNEL BRACKET
2	RRH Z BRACKET, 3/16"
3	THREADED ROD ASSEMBLY 1/2"x12"



RRH DETAIL

NO SCALE

1

RRH DETAIL

NO SCALE

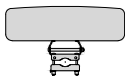
2

REMOTE RADIO MOUNT DETAIL

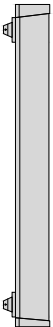
NO SCALE

3

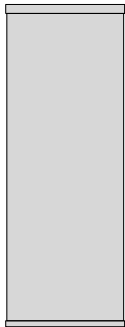
CELLMAX 12044x CMA-UBTULBULBHH/6516/16/21/21	
DIMENSIONS (HxWxD)(MM/IN)	1840x680x196 72.4"x26.7"x7.7"
CONNECTORS	8 x 4.3-10 FEMALE
WEIGHT (kg/lb)	48/105
WEIGHT WITH BRACKETS (kg/lb)	53/116



PLAN

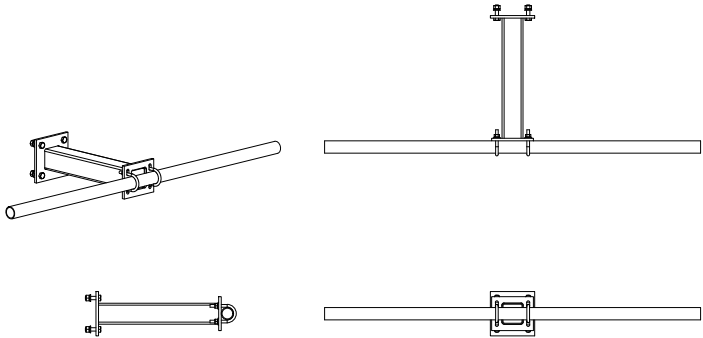


SIDE



FRONT

2" STAND-OFF ANETANNA WALL MOUNT MM02	
DIMENSIONS (HxW)	4" x 72"
WEIGHT	39.27 LBS



ANTENNA DETAIL

NO SCALE

4

TYPICAL ANTENNA WALL MOUNT DETAIL

NO SCALE

5

ANTENNA MOUNTING DETAIL

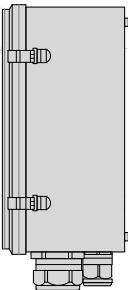
NO SCALE

6

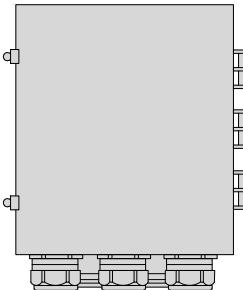
RAYCAP RDIDC-9181-PF-48 DC SURGE PROTECTION (OVP)	
DIMENSIONS (HxWxD)	18.98"x14.39"x8.15"
WEIGHT	21.82 LBS



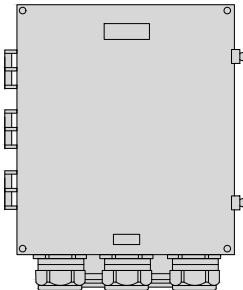
PLAN



SIDE

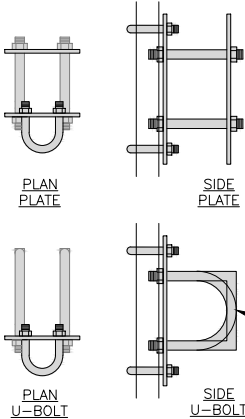


BACK



FRONT

COMMSCOPE XP-2040 CROSSOVER PLATE	
DIMENSIONS (HxW)	10"x12"
WEIGHT	11.023 LBS

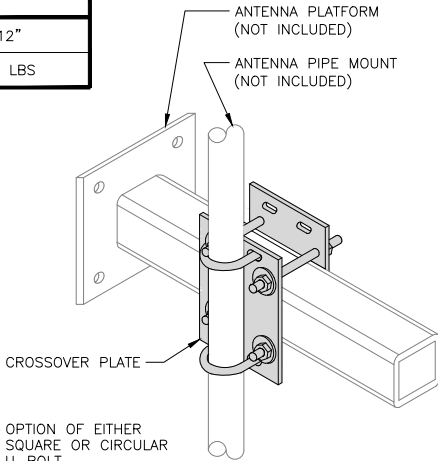


PLAN PLATE

SIDE PLATE

PLAN U-BOLT

SIDE U-BOLT



CROSSOVER PLATE

OPTION OF EITHER
SQUARE OR CIRCULAR
U-BOLT

SURGE SUPPRESSION DETAIL

NO SCALE

7

RRH/OVP MOUNT DETAIL

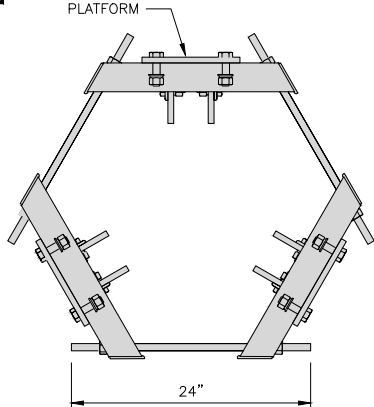
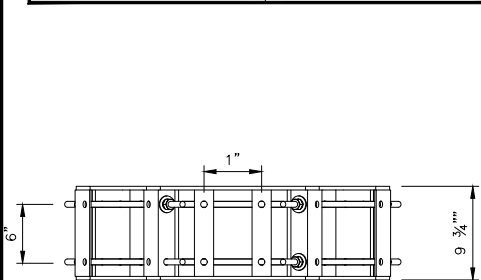
NO SCALE

8

UGLM MINI RING MOUNT ASSEMBLY

FACE WIDTH	9 3/4"
WEIGHT	87.58 LBS

NOTE:
OR DISH Wireless L.L.C.
APPROVED EQUIVALENT



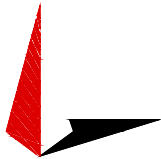
ANTENNA PLATFORM DETAIL

NO SCALE

9

dish
wireless™

5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOWER ENGINEERING PROFESSIONALS
326 TRYON RD. RALEIGH, NC 27603
OFFICE: (919) 661-6351
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DL

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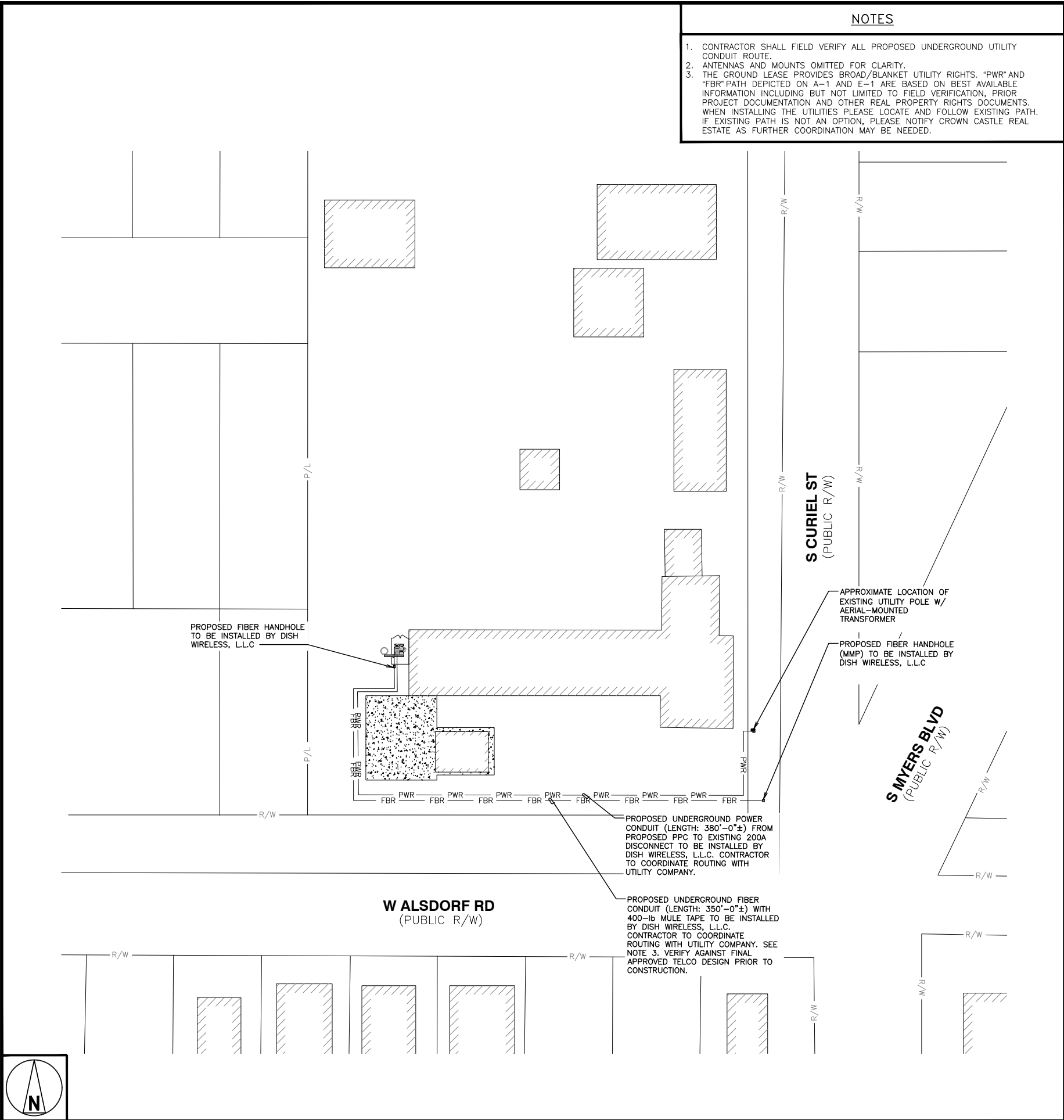
DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
EQUIPMENT DETAILS

SHEET NUMBER

A-6



- NOTES
1. CONTRACTOR SHALL FIELD VERIFY ALL PROPOSED UNDERGROUND UTILITY CONDUIT ROUTE.
 2. ANTENNAS AND MOUNTS OMITTED FOR CLARITY.
 3. THE GROUND LEASE PROVIDES BROAD/BLANKET UTILITY RIGHTS. "PWR" AND "FBR" PATH DEPICTED ON A-1 AND E-1 ARE BASED ON BEST AVAILABLE INFORMATION INCLUDING BUT NOT LIMITED TO FIELD VERIFICATION, PRIOR PROJECT DOCUMENTATION AND OTHER REAL PROPERTY RIGHTS DOCUMENTS. WHEN INSTALLING THE UTILITIES PLEASE LOCATE AND FOLLOW EXISTING PATH. IF EXISTING PATH IS NOT AN OPTION, PLEASE NOTIFY CROWN CASTLE REAL ESTATE AS FURTHER COORDINATION MAY BE NEEDED.

DC POWER WIRING SHALL BE COLOR CODED AT EACH END FOR IDENTIFYING +24V AND -48V CONDUCTORS. RED MARKINGS SHALL IDENTIFY +24V AND BLUE MARKINGS SHALL IDENTIFY -48V.

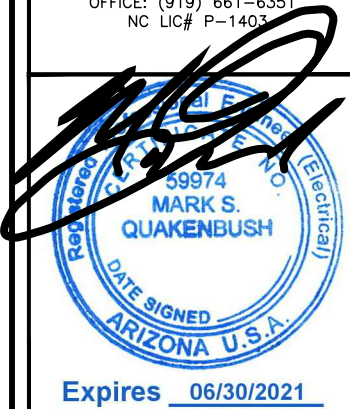
1. CONTRACTOR SHALL INSPECT THE EXISTING CONDITIONS PRIOR TO SUBMITTING A BID. ANY QUESTIONS ARISING DURING THE BID PERIOD IN REGARDS TO THE CONTRACTOR'S FUNCTIONS, THE SCOPE OF WORK, OR ANY OTHER ISSUE RELATED TO THIS PROJECT SHALL BE BROUGHT UP DURING THE BID PERIOD WITH THE PROJECT MANAGER FOR CLARIFICATION, NOT AFTER THE CONTRACT HAS BEEN AWARDED.
2. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT NATIONAL ELECTRICAL CODES AND ALL STATE AND LOCAL CODES, LAWS, AND ORDINANCES. PROVIDE ALL COMPONENTS AND WIRING SIZES AS REQUIRED TO MEET NEC STANDARDS.
3. LOCATION OF EQUIPMENT, CONDUIT AND DEVICES SHOWN ON THE DRAWINGS ARE APPROXIMATE AND SHALL BE COORDINATED WITH FIELD CONDITIONS PRIOR TO CONSTRUCTION.
4. CONDUIT ROUGH-IN SHALL BE COORDINATED WITH THE MECHANICAL EQUIPMENT TO AVOID LOCATION CONFLICTS. VERIFY WITH THE MECHANICAL EQUIPMENT CONTRACTOR AND COMPLY AS REQUIRED.
5. CONTRACTOR SHALL PROVIDE ALL BREAKERS, CONDUITS AND CIRCUITS AS REQUIRED FOR A COMPLETE SYSTEM.
6. CONTRACTOR SHALL PROVIDE PULL BOXES AND JUNCTION BOXES AS REQUIRED BY THE NEC ARTICLE 314.
7. CONTRACTOR SHALL PROVIDE ALL STRAIN RELIEF AND CABLE SUPPORTS FOR ALL CABLE ASSEMBLIES. INSTALLATION SHALL BE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
8. ALL DISCONNECTS AND CONTROLLING DEVICES SHALL BE PROVIDED WITH ENGRAVED PHENOLIC NAMEPLATES INDICATING EQUIPMENT CONTROLLED, BRANCH CIRCUITS INSTALLED ON, AND PANEL FIELD LOCATIONS FED FROM.
9. INSTALL AN EQUIPMENT GROUNDING CONDUCTOR IN ALL CONDUITS PER THE SPECIFICATIONS AND NEC 250. THE EQUIPMENT GROUNDING CONDUCTORS SHALL BE BONDED AT ALL JUNCTION BOXES, PULL BOXES, AND ALL DISCONNECT SWITCHES, AND EQUIPMENT CABINETS.
10. ALL NEW MATERIAL SHALL HAVE A U.L. LABEL.
11. PANEL SCHEDULE LOADING AND CIRCUIT ARRANGEMENTS REFLECT POST-CONSTRUCTION EQUIPMENT.
12. CONTRACTOR SHALL BE RESPONSIBLE FOR AS-BUILT PANEL SCHEDULE AND SITE DRAWINGS.
13. ALL TRENCHES IN COMPOUND TO BE HAND DUG.



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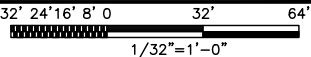
DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

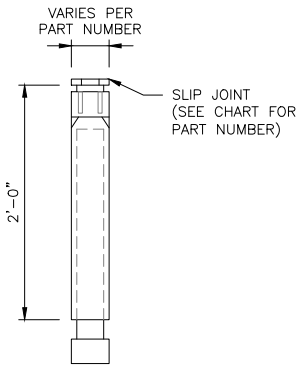
SHEET TITLE
ELECTRICAL/FIBER ROUTE
PLAN AND NOTES

SHEET NUMBER
E-1

UTILITY ROUTE PLAN



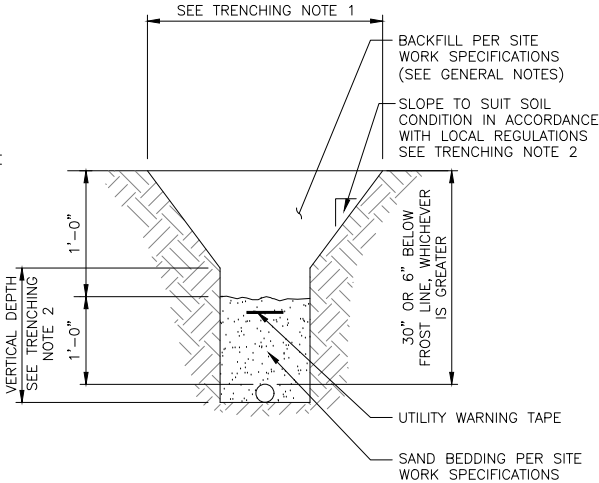
CARLON EXPANSION FITTINGS				
COUPLING END PART#	MALE TERMINAL ADAPTER END PART#	SIZE	STD CTN QTY.	TRAVEL LENGTH
E945D	E945DX	1/2"	20	4"
E945E	E945EX	3/4"	15	4"
E945F	E945FX	1"	10	4"
E945G	E945GX	1 1/4"	5	4"
E945H	E945HX	1 1/2"	5	4"
E945J	E945JX	2"	15	8"
E945K	E945KX	2 1/2"	10	8"
E945L	E945LX	3"	10	8"
E945M	E945MX	3 1/2"	5	8"
E945N	E945NX	4"	5	8"
E945P	E945PX	5"	1	8"
E945R	E945RX	6"	1	8"



NOTE:
CONTRACTOR TO INSTALL EXPANSION FITTING SLIP JOINT AT METER CENTER CONDUIT TERMINATION, AS PER LOCAL UTILITY POLICY, ORDINANCE AND/OR SPECIFIED REQUIREMENT.

TRENCHING NOTES

1. CONTRACTOR SHALL RESTORE THE TRENCH TO ITS ORIGINAL CONDITIONS BY EITHER SEEDING OR SODDING GRASS AREAS, OR REPLACING ASPHALT OR CONCRETE AREAS TO ITS ORIGINAL CROSS SECTION.
2. TRENCHING SAFETY; INCLUDING, BUT NOT LIMITED TO SOIL CLASSIFICATION, SLOPING, AND SHORING, SHALL BE GOVERNED BY THE CURRENT OSHA TRENCHING AND EXCAVATION SAFETY STANDARDS.
3. ALL CONDUITS SHALL BE INSTALLED IN COMPLIANCE WITH THE CURRENT NATIONAL ELECTRIC CODE (NEC) OR AS REQUIRED BY THE LOCAL JURISDICTION, WHICHEVER IS THE MOST STRINGENT.



EXPANSION JOINT DETAIL

NO SCALE

1

TYPICAL UNDERGROUND TRENCH DETAIL

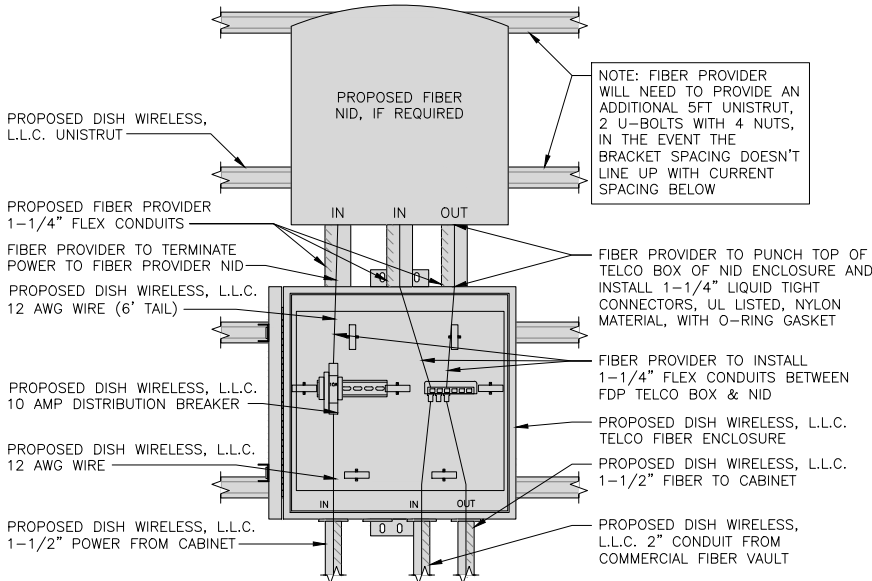
NO SCALE

2

NOT USED

NO SCALE

3



LIT TELCO BOX – INTERIOR WIRING LAYOUT (OPTIONAL)

NO SCALE

4

NOT USED

NO SCALE

5

NOT USED

NO SCALE

6

NOT USED

NO SCALE

7

NOT USED

NO SCALE

8

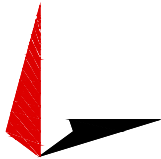
NOT USED

NO SCALE

9



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



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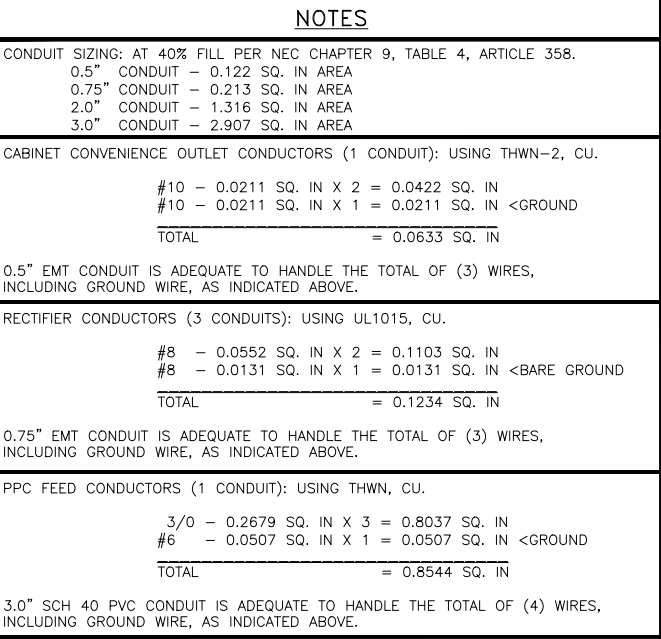
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DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
ELECTRICAL
DETAILS

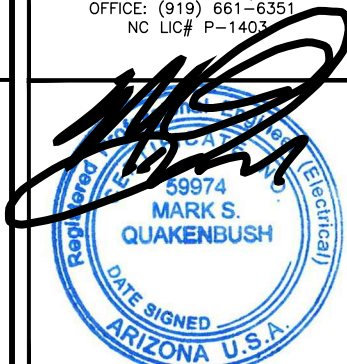
SHEET NUMBER
E-2

The Dish Wireless logo, featuring the word "dish" in a bold, lowercase sans-serif font, with a stylized satellite dish icon integrated into the letter "i". Below "dish" is the word "wireless" in a smaller, lowercase sans-serif font.

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PROJECT INFORMATION

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304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
ELECTRICAL ONE-LINE, FAULT
CALCS & PANEL SCHEDULE

SHEET NUMBER

E-3

PPC ONE-LINE DIAGRAM

NO SCALE

1

PROPOSED ENERSYS PANEL SCHEDULE												
LOAD SERVED	VOLT AMPS (WATTS)		TRIP	CKT #	PHASE		CKT #	TRIP	VOLT AMPS (WATTS)		LOAD SERVED	
	L1	L2			L1	L2						
PPC GFCI OUTLET	180		15A	1	A		2		3840		ENERSYS ALPHA CORDEX RECTIFIERS 1 & 2	
ENERSYS GFCI OUTLET		180	20A	3	B		4	40A		3840		
—SPACE—				5	A		6		3840		ENERSYS ALPHA CORDEX RECTIFIER 3 & 4	
—SPACE—				7	B		8	40A		3840		
—SPACE—				9	A		10		1920		ENERSYS ALPHA CORDEX RECTIFIER 5	
—SPACE—				11	B		12	20A		1920		
—SPACE—				13	A		14				—SPACE—	
—SPACE—				15	B		16				—SPACE—	
—SPACE—				17	A		18				—SPACE—	
—SPACE—				19	B		20				—SPACE—	
—SPACE—				21	A		22				—SPACE—	
—SPACE—				23	B		24				—SPACE—	
VOLTAGE AMPS	180	180							9600	9600		
200A MCB, 1φ, 24 SPACE, 120/240V												
MB RATING: 65,000 AIC												
				L1		L2						
				9780		9780			VOLTAGE AMPS			
				81.5		81.5			AMPS			
						81.5			MAX AMPS			
						102			MAX 125%			

PANEL SCHEDULE

NO SCALE

2

NOT USED

NO SCALE

3

TYPICAL EQUIPMENT GROUNDING PLAN

TYPICAL ANTENNA GROUNDING PLAN

NO SCALE

1

NOTE

ANTENNAS AND OVP SHOWN ARE GENERIC AND NOT
REFERENCING TO A SPECIFIC MANUFACTURER. THIS
LAYOUT IS FOR REFERENCE ONLY.

- EXOTHERMIC CONNECTION

■ MECHANICAL CONNECTION

 GROUND BUS BAR

 GROUND ROD

 TEST GROUND ROD WITH INSPECTION SLEEVE

----- #2 AWG SOLID & INSULATED

- · - · - · - #2 AWG SOLID COPPER TINNED

▲ BUSS BAR INSULATOR

GROUNDING LEGEND

 - GROUNDING IS SHOWN DIAGRAMMATICALLY ONLY.
 - CONTRACTOR SHALL GROUND ALL EQUIPMENT AS A COMPLETE SYSTEM. GROUNDING SHALL BE IN COMPLIANCE WITH NEC SECTION 250 AND DISH WIRELESS, L.L.C. GROUNDING AND BONDING REQUIREMENTS AND MANUFACTURER'S SPECIFICATIONS.
 - ALL GROUND CONDUCTORS SHALL BE COPPER; NO ALUMINUM CONDUCTORS SHALL BE USED.

GROUNDING KEY NOTES

 - (A) EXTERIOR GROUND RING: #2 AWG SOLID COPPER, BURIED AT A DEPTH OF AT LEAST 30 INCHES BELOW GRADE, OR 6 INCHES BELOW THE FROST LINE AND APPROXIMATELY 24 INCHES FROM THE EXTERIOR WALL OR FOOTING.
 - (B) TOWER GROUND RING: THE GROUND RING SYSTEM SHALL BE INSTALLED AROUND AN ANTENNA TOWER'S LEGS, AND/OR GUY ANCHORS. WHERE SEPARATE SYSTEMS HAVE BEEN PROVIDED FOR THE TOWER AND THE BUILDING, AT LEAST TWO BONDS SHALL BE MADE BETWEEN THE TOWER RING GROUND SYSTEM AND THE BUILDING RING GROUND SYSTEM USING MINIMUM #2 AWG SOLID COPPER CONDUCTORS.
 - (C) INTERIOR GROUND RING: #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTOR EXTENDED AROUND THE PERIMETER OF THE EQUIPMENT AREA. ALL NON-TELECOMMUNICATIONS RELATED METALLIC OBJECTS FOUND WITHIN A SITE SHALL BE GROUNDED TO THE INTERIOR GROUND RING WITH #6 AWG STRANDED GREEN INSULATED CONDUCTOR.
 - (D) BOND TO INTERIOR GROUND RING: #2 AWG SOLID TINNED COPPER WIRE PRIMARY BONDS SHALL BE PROVIDED AT LEAST AT FOUR POINTS ON THE INTERIOR GROUND RING, LOCATED AT THE CORNERS OF THE BUILDING.
 - (E) GROUND ROD: UL LISTED COPPER CLAD STEEL. MINIMUM 1/2" DIAMETER BY EIGHT FEET LONG. GROUND RODS SHALL BE INSTALLED WITH INSPECTION SLEEVES. GROUND RODS SHALL BE DRIVEN TO THE DEPTH OF GROUND RING CONDUCTOR.
 - (F) CELL REFERENCE GROUND BAR: POINT OF GROUND REFERENCE FOR ALL COMMUNICATIONS EQUIPMENT FRAMES. ALL BONDS ARE MADE WITH #2 AWG UNLESS NOTED OTHERWISE STRANDED GREEN INSULATED COPPER CONDUCTORS. BOND TO GROUND RING WITH (2) #2 SOLID TINNED COPPER CONDUCTORS.
 - (G) HATCH PLATE GROUND BAR: BOND TO THE INTERIOR GROUND RING WITH TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS. WHEN A HATCH-PLATE AND A CELL REFERENCE GROUND BAR ARE BOTH PRESENT, THE CRGB MUST BE CONNECTED TO THE HATCH-PLATE AND TO THE INTERIOR GROUND RING USING (2) TWO #2 AWG STRANDED GREEN INSULATED COPPER CONDUCTORS EACH.
 - (H) EXTERIOR CABLE ENTRY PORT GROUND BARS: LOCATED AT THE ENTRANCE TO THE CELL SITE BUILDING. BOND TO GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTORS WITH AN EXOTHERMIC WELD AND INSPECTION SLEEVE.
 - (I) TELCO GROUND BAR: BOND TO BOTH CELL REFERENCE GROUND BAR OR EXTERIOR GROUND RING.
 - (J) FRAME BONDING: THE BONDING POINT FOR TELECOM EQUIPMENT FRAMES SHALL BE THE GROUND BUS THAT IS NOT ISOLATED FROM THE EQUIPMENTS METAL FRAMEWORK.
 - (K) INTERIOR UNIT BONDS: METAL FRAMES, CABINETS AND INDIVIDUAL METALLIC UNITS LOCATED WITH THE AREA OF THE INTERIOR GROUND RING REQUIRE A #6 AWG STRANDED GREEN INSULATED COPPER BOND TO THE INTERIOR GROUND RING.
 - (L) FENCE AND GATE GROUNDING: METAL FENCES WITHIN 7 FEET OF THE EXTERIOR GROUND RING OR OBJECTS BONDED TO THE EXTERIOR GROUND RING SHALL BE BONDED TO THE GROUND RING WITH A #2 AWG SOLID TINNED COPPER CONDUCTOR AT AN INTERVAL NOT EXCEEDING 25 FEET. BONDS SHALL BE MADE AT EACH GATE POST AND ACROSS GATE OPENINGS.
 - (M) EXTERIOR UNIT BONDS: METALLIC OBJECTS, EXTERNAL TO OR MOUNTED TO THE BUILDING, SHALL BE BONDED TO THE EXTERIOR GROUND RING. USING #2 TINNED SOLID COPPER WIRE
 - (N) ICE BRIDGE SUPPORTS: EACH ICE BRIDGE LEG SHALL BE BONDED TO THE GROUND RING WITH #2 AWG BARE TINNED COPPER CONDUCTOR. PROVIDE EXOTHERMIC WELDS AT BOTH THE ICE BRIDGE LEG AND BURIED GROUND RING.
 - (O) DURING ALL DC POWER SYSTEM CHANGES INCLUDING DC SYSTEM CHANGE OUTS, RECTIFIER REPLACEMENTS OR ADDITIONS, BREAKER DISTRIBUTION CHANGES, BATTERY ADDITIONS, BATTERY REPLACEMENTS AND INSTALLATIONS OR CHANGES TO DC CONVERTER SYSTEMS IT SHALL BE REQUIRED THAT SERVICE CONTRACTORS VERIFY ALL DC POWER SYSTEMS ARE EQUIPPED WITH A MASTER DC SYSTEM RETURN GROUND CONDUCTOR FROM THE DC POWER SYSTEM COMMON RETURN BUS DIRECTLY CONNECTED TO THE CELL SITE REFERENCE GROUND BAR
 - (P) TOWER TOP COLLECTOR BUSS BAR IS TO BE MECHANICALLY BONDED TO PROPOSED ANTENNA MOUNT COLLAR.

REFER TO DISH WIRELESS, L.L.C. GROUNDING NOTES.

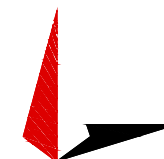
REFER TO DISH WIRELESS, LLC. GROUNDING NOTES.

NO SCALE

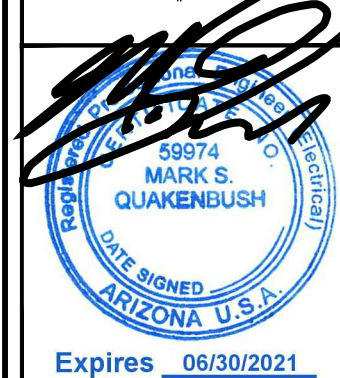
3



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A&E PROJECT NUMBER

304876.284328

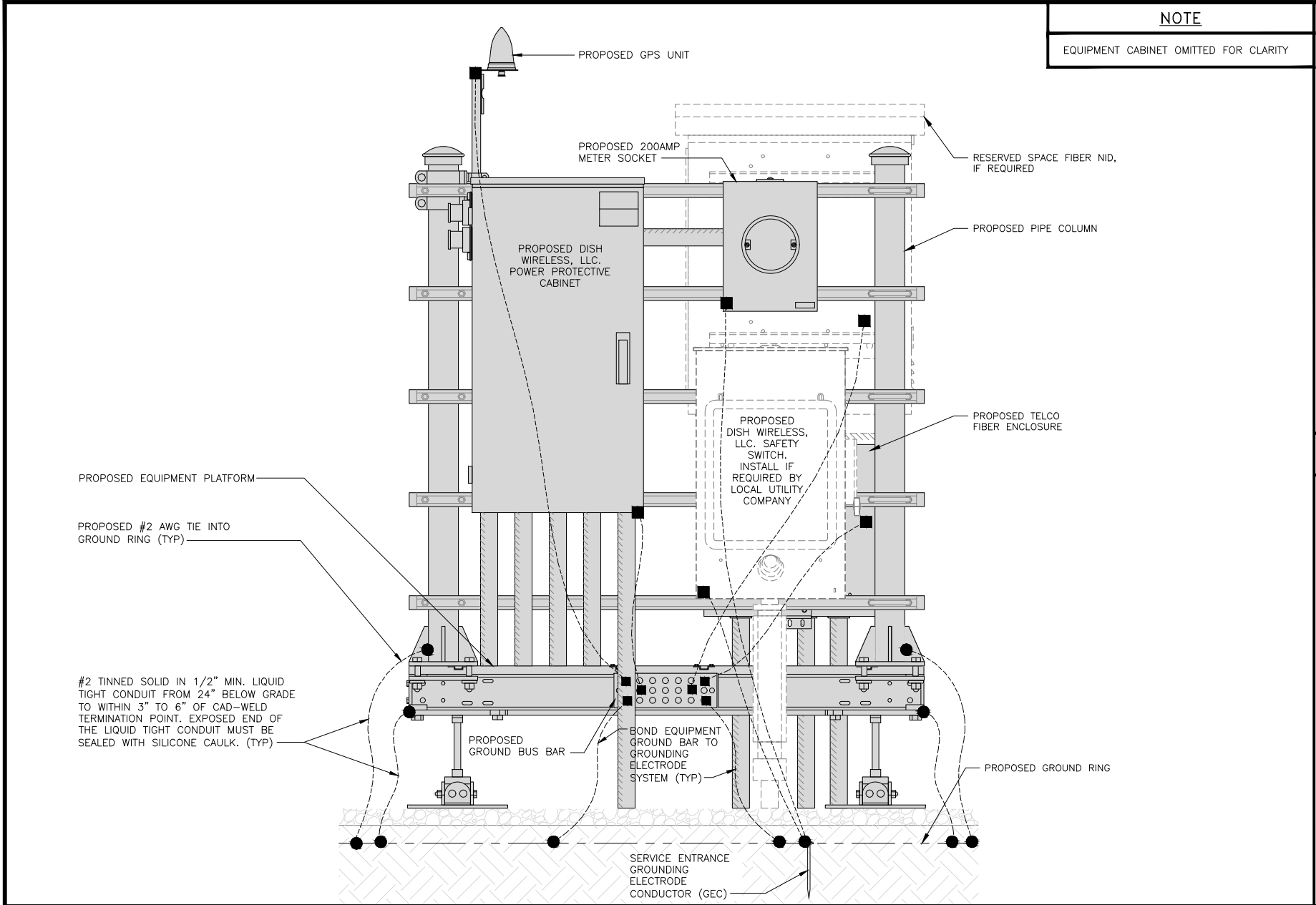
DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE
GROUNDING PLANS
AND NOTES

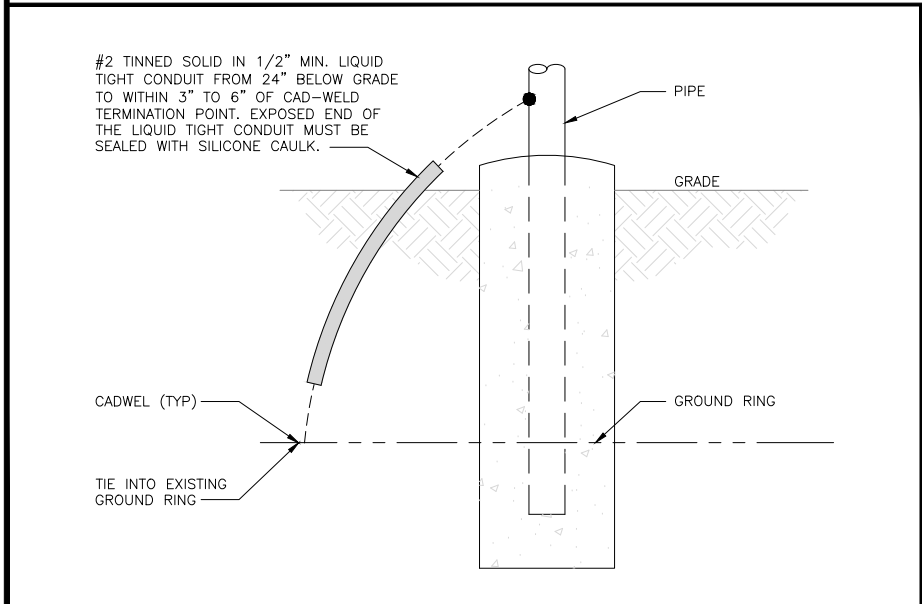
SHEET NUMBER

G-1



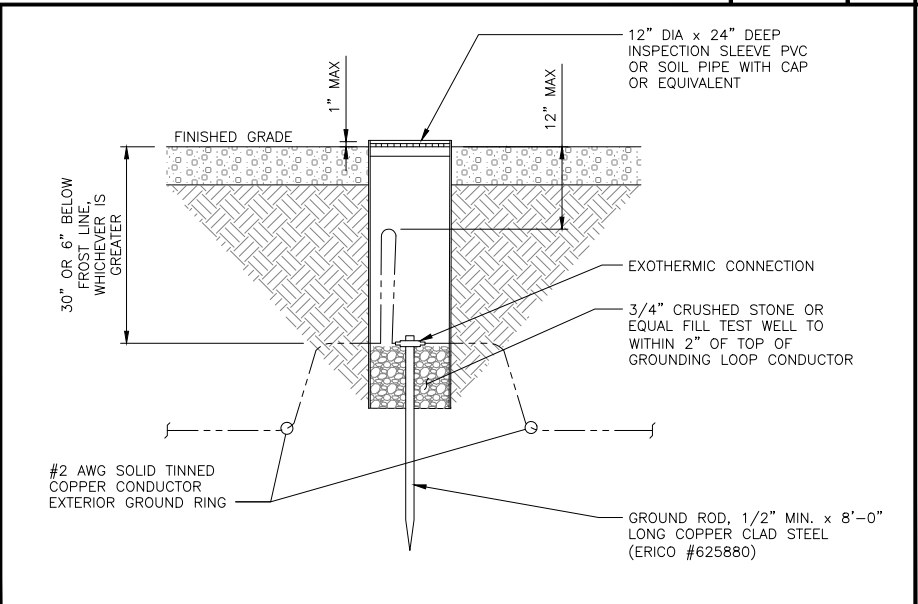
H-FRAME GROUNDING DETAIL

NO SCALE 1



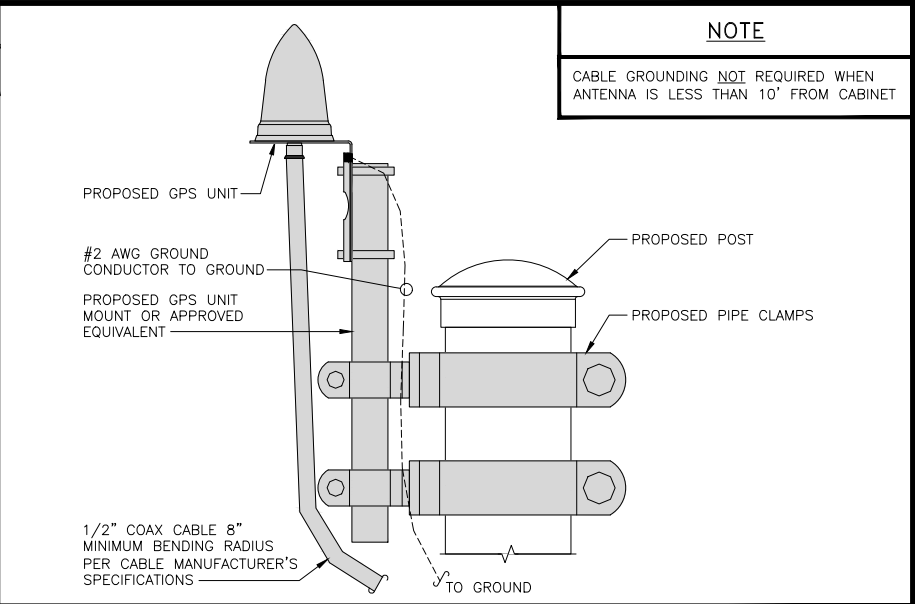
TRANSITIONING GROUND DETAIL

NO SCALE 4



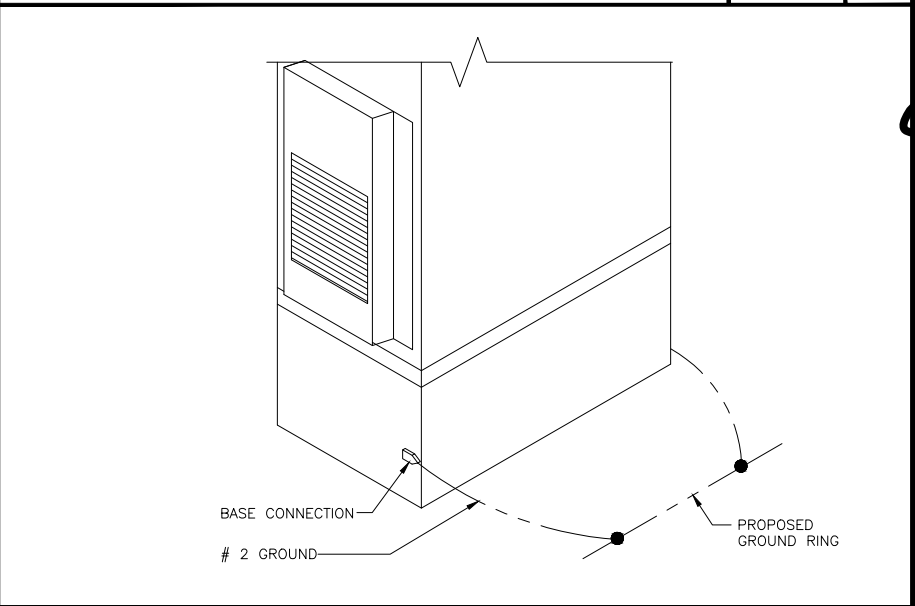
TYPICAL TEST GROUND ROD WITH INSPECTION SLEEVE

NO SCALE 5



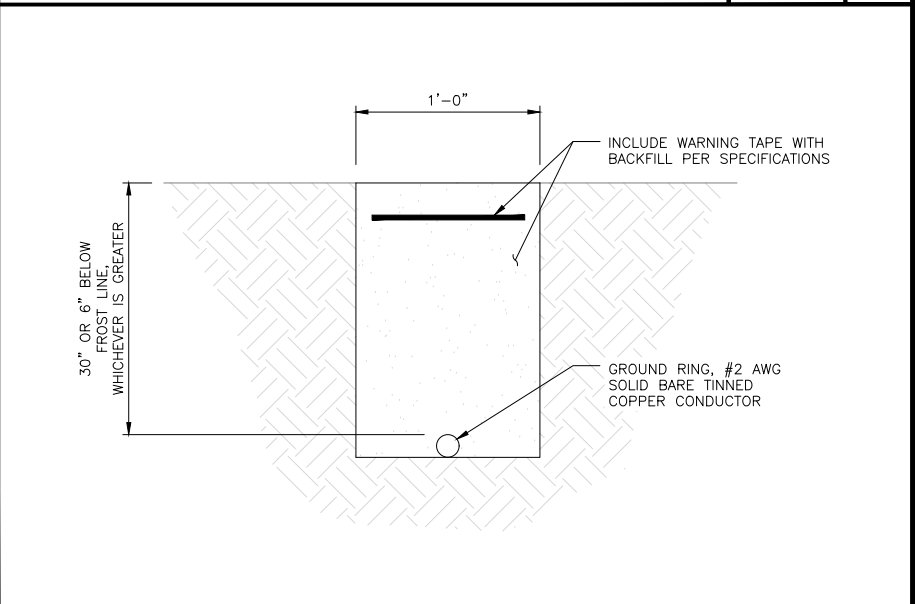
TYPICAL GPS UNIT GROUNDING

NO SCALE 2



OUTDOOR CABINET GROUNDING

NO SCALE 3



TYPICAL GROUND RING TRENCH

NO SCALE 6

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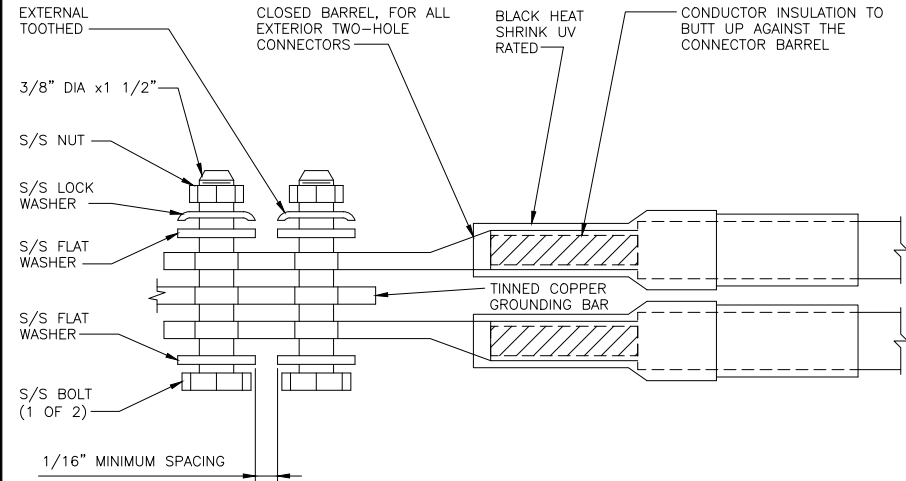
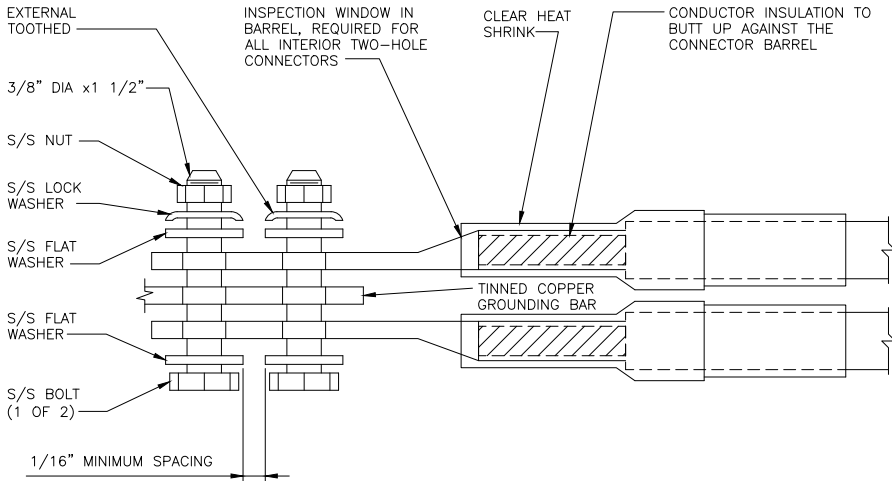
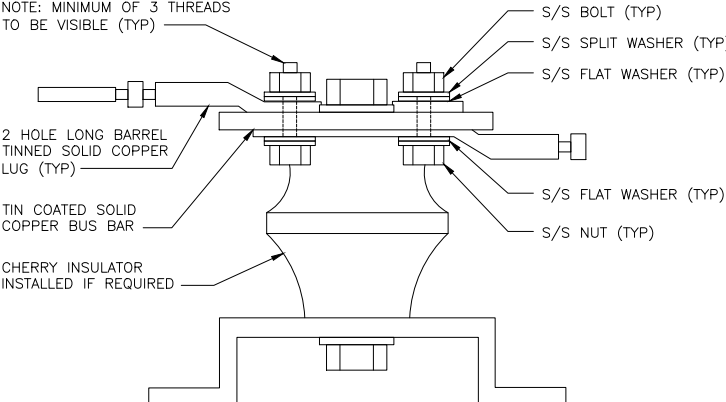
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DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

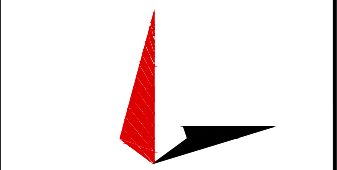
SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-2

1. EXOTHERMIC WELD (2) TWO, #2 AWG BARE TINNED SOLID COPPER CONDUCTORS TO GROUND BAR. ROUTE CONDUCTORS TO BURIED GROUND RING AND PROVIDE PARALLEL EXOTHERMIC WELD. 2. ALL EXTERIOR GROUNDING HARDWARE SHALL BE STAINLESS STEEL 3/8" DIAMETER OR LARGER. ALL HARDWARE 18-8 STAINLESS STEEL INCLUDING LOCK WASHERS, COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. 3. FOR GROUND BOND TO STEEL ONLY: COAT ALL SURFACES WITH AN ANTI-OXIDANT COMPOUND BEFORE MATING. 4. DO NOT INSTALL CABLE GROUNDING KIT AT A BEND AND ALWAYS DIRECT GROUND CONDUCTOR DOWN TO GROUNDING BUS. 5. NUT & WASHER SHALL BE PLACED ON THE FRONT SIDE OF THE GROUND BAR AND BOLTED ON THE BACK SIDE. 6. ALL GROUNDING PARTS AND EQUIPMENT TO BE SUPPLIED AND INSTALLED BY CONTRACTOR. 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING ADDITIONAL GROUND BAR AS REQUIRED. 8. ENSURE THE WIRE INSULATION TERMINATION IS WITHIN 1/8" OF THE BARREL (NO SHINERS).														
TYPICAL GROUNDING NOTES			NO SCALE	1	TYPICAL EXTERIOR TWO HOLE LUG			NO SCALE	2	TYPICAL INTERIOR TWO HOLE LUG			NO SCALE	3
														
LUG DETAIL			NO SCALE	4	NOT USED			NO SCALE	5	NOT USED			NO SCALE	6
NOT USED			NO SCALE	7	NOT USED			NO SCALE	8	NOT USED			NO SCALE	9



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ELOY, AZ 85131

SHEET TITLE
GROUNDING DETAILS

SHEET NUMBER
G-3

RF JUMPER COLOR CODING				3/4" TAPE WIDTHS WITH 3/4" SPACING											
LOW-BAND RRH – (600MHz N71 BASEBAND) + (850MHz N26 BAND) + (700MHz N29 BAND) – OPTIONAL PER MARKET ADD FREQUENCY COLOR TO SECTOR BAND (CBRS WILL USE YELLOW BANDS)				ALPHA RRH				BETA RRH				GAMMA RRH			
				PORT 1 + SLANT	PORT 2 – SLANT	PORT 3 + SLANT	PORT 4 – SLANT	PORT 1 + SLANT	PORT 2 – SLANT	PORT 3 + SLANT	PORT 4 – SLANT	PORT 1 + SLANT	PORT 2 – SLANT	PORT 3 + SLANT	PORT 4 – SLANT
				RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
				ORANGE	ORANGE	RED	RED	ORANGE	ORANGE	BLUE	BLUE	ORANGE	ORANGE	GREEN	GREEN
					WHITE (–) PORT	ORANGE	ORANGE		WHITE (–) PORT	ORANGE	ORANGE		WHITE (–) PORT	ORANGE	ORANGE
							WHITE (–) PORT				WHITE (–) PORT				WHITE (–) PORT
MID-BAND RRH – (AWS BANDS N66+N70) ADD FREQUENCY COLOR TO SECTOR BAND (CBRS WILL USE YELLOW BANDS)				RED	RED	RED	RED	BLUE	BLUE	BLUE	BLUE	GREEN	GREEN	GREEN	GREEN
				PURPLE	PURPLE	RED	RED	PURPLE	PURPLE	BLUE	BLUE	PURPLE	PURPLE	GREEN	GREEN
					WHITE (–) PORT	PURPLE	PURPLE		WHITE (–) PORT	PURPLE	PURPLE		WHITE (–) PORT	PURPLE	PURPLE
							WHITE (–) PORT				WHITE (–) PORT				WHITE (–) PORT
HYBRID/DISCREET CABLES INCLUDE SECTOR BANDS BEING SUPPORTED ALONG WITH FREQUENCY BANDS EXAMPLE 1 – HYBRID, OR DISCREET, SUPPORTS ALL SECTORS, BOTH LOW-BANDS AND MID-BANDS EXAMPLE 2 – HYBRID, OR DISCREET, SUPPORTS CBRS ONLY, ALL SECTORS				EXAMPLE 1	EXAMPLE 2	EXAMPLE 3									
				RED	RED	RED									
				BLUE	BLUE	ORANGE									
				GREEN	GREEN	PURPLE									
				ORANGE	YELLOW										
				PURPLE											
FIBER JUMPERS TO RRHs LOW-BAND RRH FIBER CABLES HAVE SECTOR STRIPE ONLY				LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH				
				RED	RED	BLUE	BLUE	GREEN	GREEN						
					PURPLE		PURPLE		PURPLE		PURPLE				
POWER CABLES TO RRHs LOW-BAND RRH POWER CABLES HAVE SECTOR STRIPE ONLY				LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH	LOW BAND RRH	HIGH BAND RRH				
				RED	RED	BLUE	BLUE	GREEN	GREEN						
					PURPLE		PURPLE		PURPLE		PURPLE				
RET MOTORS AT ANTENNAS				ANTENNA 1 LOW BAND/ "IN"	ANTENNA 1 HIGH BAND/ "IN"	ANTENNA 1 LOW BAND/ "IN"	ANTENNA 1 HIGH BAND/ "IN"	ANTENNA 1 LOW BAND/ "IN"	ANTENNA 1 HIGH BAND/ "IN"	ANTENNA 1 LOW BAND/ "IN"	ANTENNA 1 HIGH BAND/ "IN"				
				RED	RED	BLUE	BLUE	GREEN	GREEN						
					PURPLE		PURPLE		PURPLE		PURPLE				
MICROWAVE RADIO LINKS LINKS WILL HAVE A 1.5–2 INCH WHITE WRAP WITH THE AZIMUTH COLOR OVERLAPPING IN THE MIDDLE. ADD ADDITIONAL SECTOR COLOR BANDS FOR EACH ADDITIONAL MW RADIO. MICROWAVE CABLES WILL REQUIRE P-TOUCH LABELS INSIDE THE CABINET TO IDENTIFY THE LOCAL AND REMOTE SITE ID'S				FORWARD AZIMUTH OF 0–120 DEGREES				FORWARD AZIMUTH OF 120–240 DEGREES				FORWARD AZIMUTH OF 240–360 DEGREES			
				PRIMARY	SECONDARY	PRIMARY	SECONDARY	PRIMARY	SECONDARY	PRIMARY	SECONDARY	PRIMARY	SECONDARY	PRIMARY	SECONDARY
				WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE	WHITE
				RED	RED	BLUE	BLUE	GREEN	GREEN			GREEN	GREEN		
				WHITE	WHITE	WHITE	WHITE	WHITE	WHITE			WHITE	WHITE		
					RED		BLUE		BLUE		GREEN		GREEN		
					WHITE		WHITE		WHITE		WHITE		WHITE		
					WHITE		WHITE		WHITE		WHITE		WHITE		

RF CABLE COLOR CODES

NO SCALE

1

NOT USED

NO SCALE

4

LOW BANDS (N71+N26)
OPTIONAL – (N29)

ORANGE

AWS
(N66+N70+H-BLOCK)

PURPLE

CBRS TECH
(3 GHz)

YELLOW

NEGATIVE SLANT PORT
ON ANT/RRH

WHITE

ALPHA SECTOR

RED

BETA SECTOR

BLUE

GAMMA SECTOR

GREEN

COLOR IDENTIFIER

NO SCALE

2

NOT USED

NO SCALE

3

NOT USED

NO SCALE

4

dish
wireless.

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PROJECT INFORMATION

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ELOY, AZ 85131

SHEET TITLE
RF
CABLE COLOR CODES

SHEET NUMBER

RF-1

EXOTHERMIC CONNECTION	
MECHANICAL CONNECTION	
BUSS BAR INSULATOR	
CHEMICAL ELECTROLYTIC GROUNDING SYSTEM	
TEST CHEMICAL ELECTROLYTIC GROUNDING SYSTEM	
EXOTHERMIC WITH INSPECTION SLEEVE	
GROUNDING BAR	
GROUND ROD	
TEST GROUND ROD WITH INSPECTION SLEEVE	
SINGLE POLE SWITCH	
DUPLEX RECEPTACLE	
DUPLEX GFCI RECEPTACLE	
FLUORESCENT LIGHTING FIXTURE (2) TWO LAMPS 48-T8	
SMOKE DETECTION (DC)	
EMERGENCY LIGHTING (DC)	
SECURITY LIGHT W/PHOTOCELL LITHONIA ALXW LED-1-25A400/51K-SR4-120-PE-DBBTXD	
CHAIN LINK FENCE	
WOOD/WROUGHT IRON FENCE	
WALL STRUCTURE	
LEASE AREA	
PROPERTY LINE (PL)	
SETBACKS	
ICE BRIDGE	
CABLE TRAY	
WATER LINE	
UNDERGROUND POWER	
UNDERGROUND TELCO	
OVERHEAD POWER	
OVERHEAD TELCO	
UNDERGROUND TELCO/POWER	
ABOVE GROUND POWER	
ABOVE GROUND TELCO	
ABOVE GROUND TELCO/POWER	
WORKPOINT	
SECTION REFERENCE	
DETAIL REFERENCE	

LEGEND

AB	ANCHOR BOLT	IN	INCH
ABV	ABOVE	INT	INTERIOR
AC	ALTERNATING CURRENT	LB(S)	POUND(S)
ADDL	ADDITIONAL	LF	LINEAR FEET
AFF	ABOVE FINISHED FLOOR	LTE	LONG TERM EVOLUTION
AFG	ABOVE FINISHED GRADE	MAS	MASONRY
AGL	ABOVE GROUND LEVEL	MAX	MAXIMUM
AIC	AMPERAGE INTERRUPTION CAPACITY	MB	MACHINE BOLT
ALUM	ALUMINUM	MECH	MECHANICAL
ALT	ALTERNATE	MFR	MANUFACTURER
ANT	ANTENNA	MGB	MASTER GROUND BAR
APPROX	APPROXIMATE	MIN	MINIMUM
ARCH	ARCHITECTURAL	MISC	MISCELLANEOUS
ATS	AUTOMATIC TRANSFER SWITCH	MTL	METAL
AWG	AMERICAN WIRE GAUGE	MTS	MANUAL TRANSFER SWITCH
BATT	BATTERY	MW	MICROWAVE
BLDG	BUILDING	NEC	NATIONAL ELECTRIC CODE
BLK	BLOCK	NM	NEWTON METERS
BLKG	BLOCKING	NO.	NUMBER
BM	BEAM	#	NUMBER
BTC	BARE TINNED COPPER CONDUCTOR	NTS	NOT TO SCALE
BOF	BOTTOM OF FOOTING	OC	ON-CENTER
CAB	CABINET	OSHA	OCCUPATIONAL SAFETY AND HEALTH ADMINISTRATION
CANT	CANTILEVERED	OPNG	OPENING
CHG	CHARGING	PCS	PERSONAL COMMUNICATION SERVICES
CLG	CEILING	PCU	PRIMARY CONTROL UNIT
CLR	CLEAR	PRC	PRIMARY RADIO CABINET
COL	COLUMN	PP	POLARIZING PRESERVING
COMM	COMMON	PSF	POUNDS PER SQUARE FOOT
CONC	CONCRETE	PSI	POUNDS PER SQUARE INCH
CONSTR	CONSTRUCTION	PT	PRESSURE TREATED
DBL	DOUBLE	PWR	POWER CABINET
DC	DIRECT CURRENT	QTY	QUANTITY
DEPT	DEPARTMENT	RAD	RADIUS
DF	DOUGLAS FIR	RECT	RECTIFIER
DIA	DIAMETER	REF	REFERENCE
DIAG	DIAGONAL	REINF	REINFORCEMENT
DIM	DIMENSION	REQ'D	REQUIRED
DWG	DRAWING	RET	REMOTE ELECTRIC TILT
DWL	DOWEL	RF	RADIO FREQUENCY
EA	EACH	RMC	RIGID METALLIC CONDUIT
EC	ELECTRICAL CONDUCTOR	RRH	REMOTE RADIO HEAD
EL	ELEVATION	RRU	REMOTE RADIO UNIT
ELEC	ELECTRICAL	RWY	RACEWAY
EMT	ELECTRICAL METALLIC TUBING	SCH	SCHEDULE
ENG	ENGINEER	SHT	SHEET
EQ	EQUAL	SIAD	SMART INTEGRATED ACCESS DEVICE
EXP	EXPANSION	SIM	SIMILAR
EXT	EXTERIOR	SPEC	SPECIFICATION
EW	EACH WAY	SQ	SQUARE
FAB	FABRICATION	SS	STAINLESS STEEL
FF	FINISH FLOOR	STD	STANDARD
FG	FINISH GRADE	STL	STEEL
FIF	FACILITY INTERFACE FRAME	TEMP	TEMPORARY
FIN	FINISH(ED)	THK	THICKNESS
FLR	FLOOR	TMA	TOWER MOUNTED AMPLIFIER
FDN	FOUNDATION	TN	TOE NAIL
FOC	FACE OF CONCRETE	TOA	TOP OF ANTENNA
FOM	FACE OF MASONRY	TOC	TOP OF CURB
FOS	FACE OF STUD	TOF	TOP OF FOUNDATION
FOW	FACE OF WALL	TOP	TOP OF PLATE (PARAPET)
FS	FINISH SURFACE	TOS	TOP OF STEEL
FT	FOOT	TOW	TOP OF WALL
FTG	FOOTING	TVSS	TRANSIENT VOLTAGE SURGE SUPPRESSION
GA	GAUGE	TYP	TYPICAL
GEN	GENERATOR	UG	UNDERGROUND
GFCI	GROUND FAULT CIRCUIT INTERRUPTER	UL	UNDERWRITERS LABORATORY
GLB	GLUE LAMINATED BEAM	UNO	UNLESS NOTED OTHERWISE
GLV	GALVANIZED	UMTS	UNIVERSAL MOBILE TELECOMMUNICATIONS SYSTEM
GPS	GLOBAL POSITIONING SYSTEM	UPS	UNINTERRUPTIBLE POWER SYSTEM (DC POWER PLANT)
GND	GROUND	VIF	VERIFIED IN FIELD
GSM	GLOBAL SYSTEM FOR MOBILE	W	WIDE
HDG	HOT DIPPED GALVANIZED	W/	WITH
HDR	HEADER	WD	WOOD
HGR	HANGER	WP	WEATHERPROOF
HVAC	HEAT/VENTILATION/AIR CONDITIONING	WT	WEIGHT
HT	HEIGHT		
IGR	INTERIOR GROUND RING		

ABBREVIATIONS



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DRAWN BY: CHECKED BY: APPROVED BY:

ODS DL DL

RFDS REV #: TBD

PRELIMINARY DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	09-08-21	PRELIMINARY
0	09-29-21	CONSTRUCTION
1	10-08-21	CONSTRUCTION

A&E PROJECT NUMBER 304876.284328
DISH WIRELESS, L.L.C. PROJECT INFORMATION PXPHX00247B 304 WEST ALSDORF RD ELOY, AZ 85131
SHEET TITLE LEGEND AND ABBREVIATIONS
SHEET NUMBER GN-1

SITE ACTIVITY REQUIREMENTS:

1. NOTICE TO PROCEED – NO WORK SHALL COMMENCE PRIOR TO CONTRACTOR RECEIVING A WRITTEN NOTICE TO PROCEED (NTP) AND THE ISSUANCE OF A PURCHASE ORDER. PRIOR TO ACCESSING/ENTERING THE SITE YOU MUST CONTACT THE DISH WIRELESS, L.L.C. AND TOWER OWNER NOC & THE DISH WIRELESS, L.L.C. AND TOWER OWNER CONSTRUCTION MANAGER.
2. "LOOK UP" – DISH WIRELESS, L.L.C. AND TOWER OWNER SAFETY CLIMB REQUIREMENT:

THE INTEGRITY OF THE SAFETY CLIMB AND ALL COMPONENTS OF THE CLIMBING FACILITY SHALL BE CONSIDERED DURING ALL STAGES OF DESIGN, INSTALLATION, AND INSPECTION. TOWER MODIFICATION, MOUNT REINFORCEMENTS, AND/OR EQUIPMENT INSTALLATIONS SHALL NOT COMPROMISE THE INTEGRITY OR FUNCTIONAL USE OF THE SAFETY CLIMB OR ANY COMPONENTS OF THE CLIMBING FACILITY ON THE STRUCTURE. THIS SHALL INCLUDE, BUT NOT BE LIMITED TO: PINCHING OF THE WIRE ROPE, BENDING OF THE WIRE ROPE FROM ITS SUPPORTS, DIRECT CONTACT OR CLOSE PROXIMITY TO THE WIRE ROPE WHICH MAY CAUSE FRICTIONAL WEAR, IMPACT TO THE ANCHORAGE POINTS IN ANY WAY, OR TO IMPEDE/BLOCK ITS INTENDED USE. ANY COMPROMISED SAFETY CLIMB, INCLUDING EXISTING CONDITIONS MUST BE TAGGED OUT AND REPORTED TO YOUR DISH WIRELESS, L.L.C. AND DISH WIRELESS, L.L.C. AND TOWER OWNER POC OR CALL THE NOC TO GENERATE A SAFETY CLIMB MAINTENANCE AND CONTRACTOR NOTICE TICKET.

3. PRIOR TO THE START OF CONSTRUCTION, ALL REQUIRED JURISDICTIONAL PERMITS SHALL BE OBTAINED. THIS INCLUDES, BUT IS NOT LIMITED TO, BUILDING, ELECTRICAL, MECHANICAL, FIRE, FLOOD ZONE, ENVIRONMENTAL, AND ZONING. AFTER ONSITE ACTIVITIES AND CONSTRUCTION ARE COMPLETED, ALL REQUIRED PERMITS SHALL BE SATISFIED AND CLOSED OUT ACCORDING TO LOCAL JURISDICTIONAL REQUIREMENTS.
4. ALL CONSTRUCTION MEANS AND METHODS; INCLUDING BUT NOT LIMITED TO, ERECTION PLANS, RIGGING PLANS, CLIMBING PLANS, AND RESCUE PLANS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR RESPONSIBLE FOR THE EXECUTION OF THE WORK CONTAINED HEREIN, AND SHALL MEET ANSI/ASSE A10.48 (LATEST EDITION); FEDERAL, STATE, AND LOCAL REGULATIONS; AND ANY APPLICABLE INDUSTRY CONSENSUS STANDARDS RELATED TO THE CONSTRUCTION ACTIVITIES BEING PERFORMED. ALL RIGGING PLANS SHALL ADHERE TO ANSI/ASSE A10.48 (LATEST EDITION) AND DISH WIRELESS, L.L.C. AND TOWER OWNER STANDARDS, INCLUDING THE REQUIRED INVOLVEMENT OF A QUALIFIED ENGINEER FOR CLASS IV CONSTRUCTION, TO CERTIFY THE SUPPORTING STRUCTURE(S) IN ACCORDANCE WITH ANSI/TIA–322 (LATEST EDITION).
5. ALL SITE WORK TO COMPLY WITH DISH WIRELESS, L.L.C. AND TOWER OWNER INSTALLATION STANDARDS FOR CONSTRUCTION ACTIVITIES ON DISH WIRELESS, L.L.C. AND TOWER OWNER TOWER SITE AND LATEST VERSION OF ANSI/TIA–1019–A–2012 "STANDARD FOR INSTALLATION, ALTERATION, AND MAINTENANCE OF ANTENNA SUPPORTING STRUCTURES AND ANTENNAS."
6. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY DISH WIRELESS, L.L.C. AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER’S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
9. THE CONTRACTOR SHALL CONTACT UTILITY LOCATING SERVICES INCLUDING PRIVATE LOCATES SERVICES PRIOR TO THE START OF CONSTRUCTION.
10. ALL EXISTING ACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER AUTILITIES WHERE ENCOUNTERED IN THE WORK, SHALL BE PROTECTED AT ALL TIMES AND WHERE REQUIRED FOR THE PROPER EXECUTION OF THE WORK, SHALL BE RELOCATED AS DIRECTED BY CONTRACTOR. EXTREME CAUTION SHOULD BE USED BY THE CONTRACTOR WHEN EXCAVATING OR DRILLING PIERS AROUND OR NEAR UTILITIES. CONTRACTOR SHALL PROVIDE SAFETY TRAINING FOR THE WORKING CREW. THIS WILL INCLUDE BUT NOT BE LIMITED TO A) FALL PROTECTION B) CONFINED SPACE C) ELECTRICAL SAFETY D) TRENCHING AND EXCAVATION E) CONSTRUCTION SAFETY PROCEDURES.
11. ALL SITE WORK SHALL BE AS INDICATED ON THE STAMPED CONSTRUCTION DRAWINGS AND DISH PROJECT SPECIFICATIONS, LATEST APPROVED REVISION.
12. CONTRACTOR SHALL KEEP THE SITE FREE FROM ACCUMULATING WASTE MATERIAL, DEBRIS, AND TRASH AT THE COMPLETION OF THE WORK. IF NECESSARY, RUBBISH, STUMPS, DEBRIS, STICKS, STONES AND OTHER REFUSE SHALL BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
13. ALL EXISTING INACTIVE SEWER, WATER, GAS, ELECTRIC AND OTHER UTILITIES, WHICH INTERFERE WITH THE EXECUTION OF THE WORK, SHALL BE REMOVED AND/OR CAPPED, PLUGGED OR OTHERWISE DISCONTINUED AT POINTS WHICH WILL NOT INTERFERE WITH THE EXECUTION OF THE WORK, SUBJECT TO THE APPROVAL OF DISH WIRELESS, L.L.C. AND TOWER OWNER, AND/OR LOCAL UTILITIES.
14. THE CONTRACTOR SHALL PROVIDE SITE SIGNAGE IN ACCORDANCE WITH THE TECHNICAL SPECIFICATION FOR SITE SIGNAGE REQUIRED BY LOCAL JURISDICTION AND SIGNAGE REQUIRED ON INDIVIDUAL PIECES OF EQUIPMENT, ROOMS, AND SHELTERS.
15. THE SITE SHALL BE GRADED TO CAUSE SURFACE WATER TO FLOW AWAY FROM THE CARRIER’S EQUIPMENT AND TOWER AREAS.
16. THE SUB GRADE SHALL BE COMPACTED AND BROUGHT TO A SMOOTH UNIFORM GRADE PRIOR TO FINISHED SURFACE APPLICATION.
17. THE AREAS OF THE OWNERS PROPERTY DISTURBED BY THE WORK AND NOT COVERED BY THE TOWER, EQUIPMENT OR DRIVEWAY, SHALL BE GRADED TO A UNIFORM SLOPE, AND STABILIZED TO PREVENT EROSION AS SPECIFIED ON THE CONSTRUCTION DRAWINGS AND/OR PROJECT SPECIFICATIONS.
18. CONTRACTOR SHALL MINIMIZE DISTURBANCE TO EXISTING SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES, IF REQUIRED DURING CONSTRUCTION, SHALL BE IN CONFORMANCE WITH THE LOCAL GUIDELINES FOR EROSION AND SEDIMENT CONTROL.
19. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR’S EXPENSE TO THE SATISFACTION OF OWNER.
20. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS AND RADIOS REMOVED SHALL BE RETURNED TO THE OWNER’S DESIGNATED LOCATION.
21. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.
22. NO FILL OR EMBANKMENT MATERIAL SHALL BE PLACED ON FROZEN GROUND. FROZEN MATERIALS, SNOW OR ICE SHALL NOT BE PLACED IN ANY FILL OR EMBANKMENT.

GENERAL NOTES:

1.FOR THE PURPOSE OF CONSTRUCTION DRAWING, THE FOLLOWING DEFINITIONS SHALL APPLY:

CONTRACTOR:GENERAL CONTRACTOR RESPONSIBLE FOR CONSTRUCTION

CARRIER:DISH WIRELESS, L.L.C.

TOWER OWNER:TOWER OWNER

2. THESE DRAWINGS HAVE BEEN PREPARED USING STANDARDS OF PROFESSIONAL CARE AND COMPLETENESS NORMALLY EXERCISED UNDER SIMILAR CIRCUMSTANCES BY REPUTABLE ENGINEERS IN THIS OR SIMILAR LOCALITIES. IT IS ASSUMED THAT THE WORK DEPICTED WILL BE PERFORMED BY AN EXPERIENCED CONTRACTOR AND/OR WORKPEOPLE WHO HAVE A WORKING KNOWLEDGE OF THE APPLICABLE CODE STANDARDS AND REQUIREMENTS AND OF INDUSTRY ACCEPTED STANDARD GOOD PRACTICE. AS NOT EVERY CONDITION OR ELEMENT IS (OR CAN BE) EXPLICITLY SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL USE INDUSTRY ACCEPTED STANDARD GOOD PRACTICE FOR MISCELLANEOUS WORK NOT EXPLICITLY SHOWN.
3. THESE DRAWINGS REPRESENT THE FINISHED STRUCTURE. THEY DO NOT INDICATE THE MEANS OR METHODS OF CONSTRUCTION. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. THE CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY FOR PROTECTION OF LIFE AND PROPERTY DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, FORMWORK, SHORING, ETC. SITE VISITS BY THE ENGINEER OR HIS REPRESENTATIVE WILL NOT INCLUDE INSPECTION OF THESE ITEMS AND IS FOR STRUCTURAL OBSERVATION OF THE FINISHED STRUCTURE ONLY.
4. NOTES AND DETAILS IN THE CONSTRUCTION DRAWINGS SHALL TAKE PRECEDENCE OVER GENERAL NOTES AND TYPICAL DETAILS. WHERE NO DETAILS ARE SHOWN, CONSTRUCTION SHALL CONFORM TO SIMILAR WORK ON THE PROJECT, AND/OR AS PROVIDED FOR IN THE CONTRACT DOCUMENTS. WHERE DISCREPANCIES OCCUR BETWEEN PLANS, DETAILS, GENERAL NOTES, AND SPECIFICATIONS, THE GREATER, MORE STRICT REQUIREMENTS, SHALL GOVERN. IF FURTHER CLARIFICATION IS REQUIRED CONTACT THE ENGINEER OF RECORD.
5. SUBSTANTIAL EFFORT HAS BEEN MADE TO PROVIDE ACCURATE DIMENSIONS AND MEASUREMENTS ON THE DRAWINGS TO ASSIST IN THE FABRICATION AND/OR PLACEMENT OF CONSTRUCTION ELEMENTS BUT IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR TO FIELD VERIFY THE DIMENSIONS, MEASUREMENTS, AND/OR CLEARANCES SHOWN IN THE CONSTRUCTION DRAWINGS PRIOR TO FABRICATION OR CUTTING OF ANY NEW OR EXISTING CONSTRUCTION ELEMENTS. IF IT IS DETERMINED THAT THERE ARE DISCREPANCIES AND/OR CONFLICTS WITH THE CONSTRUCTION DRAWINGS THE ENGINEER OF RECORD IS TO BE NOTIFIED AS SOON AS POSSIBLE.
6. PRIOR TO THE SUBMISSION OF BIDS, THE BIDDING CONTRACTOR SHALL VISIT THE CELL SITE TO FAMILIARIZE WITH THE EXISTING CONDITIONS AND TO CONFIRM THAT THE WORK CAN BE ACCOMPLISHED AS SHOWN ON THE CONSTRUCTION DRAWINGS. ANY DISCREPANCY FOUND SHALL BE BROUGHT TO THE ATTENTION OF CARRIER POC AND TOWER OWNER.
7. ALL MATERIALS FURNISHED AND INSTALLED SHALL BE IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES, REGULATIONS AND ORDINANCES. CONTRACTOR SHALL ISSUE ALL APPROPRIATE NOTICES AND COMPLY WITH ALL LAWS, ORDINANCES, RULES, REGULATIONS AND LAWFUL ORDERS OF ANY PUBLIC AUTHORITY REGARDING THE PERFORMANCE OF THE WORK. ALL WORK CARRIED OUT SHALL COMPLY WITH ALL APPLICABLE MUNICIPAL AND UTILITY COMPANY SPECIFICATIONS AND LOCAL JURISDICTIONAL CODES, ORDINANCES AND APPLICABLE REGULATIONS.
8. UNLESS NOTED OTHERWISE, THE WORK SHALL INCLUDE FURNISHING MATERIALS, EQUIPMENT, APPURTENANCES AND LABOR NECESSARY TO COMPLETE ALL INSTALLATIONS AS INDICATED ON THE DRAWINGS.
9. THE CONTRACTOR SHALL INSTALL ALL EQUIPMENT AND MATERIALS IN ACCORDANCE WITH MANUFACTURER’S RECOMMENDATIONS UNLESS SPECIFICALLY STATED OTHERWISE.
10. IF THE SPECIFIED EQUIPMENT CAN NOT BE INSTALLED AS SHOWN ON THESE DRAWINGS, THE CONTRACTOR SHALL PROPOSE AN ALTERNATIVE INSTALLATION FOR APPROVAL BY THE CARRIER AND TOWER OWNER PRIOR TO PROCEEDING WITH ANY SUCH CHANGE OF INSTALLATION.
11. CONTRACTOR IS TO PERFORM A SITE INVESTIGATION, BEFORE SUBMITTING BIDS, TO DETERMINE THE BEST ROUTING OF ALL CONDUITS FOR POWER, AND TELCO AND FOR GROUNDING CABLES AS SHOWN IN THE POWER, TELCO, AND GROUNDING PLAN DRAWINGS.
12. THE CONTRACTOR SHALL PROTECT EXISTING IMPROVEMENTS, PAVEMENTS, CURBS, LANDSCAPING AND STRUCTURES. ANY DAMAGED PART SHALL BE REPAIRED AT CONTRACTOR’S EXPENSE TO THE SATISFACTION OF DISH WIRELESS, L.L.C. AND TOWER OWNER
13. CONTRACTOR SHALL LEGALLY AND PROPERLY DISPOSE OF ALL SCRAP MATERIALS SUCH AS COAXIAL CABLES AND OTHER ITEMS REMOVED FROM THE EXISTING FACILITY. ANTENNAS REMOVED SHALL BE RETURNED TO THE OWNER’S DESIGNATED LOCATION.
14. CONTRACTOR SHALL LEAVE PREMISES IN CLEAN CONDITION. TRASH AND DEBRIS SHOULD BE REMOVED FROM SITE ON A DAILY BASIS.



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DISH WIRELESS, L.L.C.
PROJECT INFORMATION

PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-2

CONCRETE, FOUNDATIONS, AND REINFORCING STEEL:

1. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE ACI 301, ACI 318, ACI 336, ASTM A184, ASTM A185 AND THE DESIGN AND CONSTRUCTION SPECIFICATION FOR CAST-IN-PLACE CONCRETE.
2. UNLESS NOTED OTHERWISE, SOIL BEARING PRESSURE USED FOR DESIGN OF SLABS AND FOUNDATIONS IS ASSUMED TO BE 1000 psf.
3. ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (f'c) OF 3000 psi AT 28 DAYS, UNLESS NOTED OTHERWISE. NO MORE THAN 90 MINUTES SHALL ELAPSE FROM BATCH TIME TO TIME OF PLACEMENT UNLESS APPROVED BY THE ENGINEER OF RECORD. TEMPERATURE OF CONCRETE SHALL NOT EXCEED 90°f AT TIME OF PLACEMENT.
4. CONCRETE EXPOSED TO FREEZE-THAW CYCLES SHALL CONTAIN AIR ENTRAINING ADMIXTURES. AMOUNT OF AIR ENTRAINMENT TO BE BASED ON SIZE OF AGGREGATE AND F3 CLASS EXPOSURE (VERY SEVERE). CEMENT USED TO BE TYPE II PORTLAND CEMENT WITH A MAXIMUM WATER-TO-CEMENT RATIO (W/C) OF 0.45.
5. ALL STEEL REINFORCING SHALL CONFORM TO ASTM A615. ALL WELDED WIRE FABRIC (WWF) SHALL CONFORM TO ASTM A185. ALL SPLICES SHALL BE CLASS "B" TENSION SPLICES, UNLESS NOTED OTHERWISE. ALL HOOKS SHALL BE STANDARD 90 DEGREE HOOKS, UNLESS NOTED OTHERWISE. YIELD STRENGTH (Fy) OF STANDARD DEFORMED BARS ARE AS FOLLOWS:
#4 BARS AND SMALLER 40 ksi
#5 BARS AND LARGER 60 ksi
6. THE FOLLOWING MINIMUM CONCRETE COVER SHALL BE PROVIDED FOR REINFORCING STEEL UNLESS SHOWN OTHERWISE ON DRAWINGS:
 - CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH 3"
 - CONCRETE EXPOSED TO EARTH OR WEATHER:
 - #6 BARS AND LARGER 2"
 - #5 BARS AND SMALLER 1-1/2"
 - CONCRETE NOT EXPOSED TO EARTH OR WEATHER:
 - SLAB AND WALLS 3/4"
 - BEAMS AND COLUMNS 1-1/2"
7. A TOOLED EDGE OR A 3/4" CHAMFER SHALL BE PROVIDED AT ALL EXPOSED EDGES OF CONCRETE, UNLESS NOTED OTHERWISE, IN ACCORDANCE WITH ACI 301 SECTION 4.2.4.

ELECTRICAL INSTALLATION NOTES:

1. ALL ELECTRICAL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS, NEC AND ALL APPLICABLE FEDERAL, STATE, AND LOCAL CODES/ORDINANCES.
2. CONDUIT ROUTINGS ARE SCHEMATIC. CONTRACTOR SHALL INSTALL CONDUITS SO THAT ACCESS TO EQUIPMENT IS NOT BLOCKED AND TRIP HAZARDS ARE ELIMINATED.
3. WIRING, RACEWAY AND SUPPORT METHODS AND MATERIALS SHALL COMPLY WITH THE REQUIREMENTS OF THE NEC.
4. ALL CIRCUITS SHALL BE SEGREGATED AND MAINTAIN MINIMUM CABLE SEPARATION AS REQUIRED BY THE NEC.
- 4.1. ALL EQUIPMENT SHALL BEAR THE UNDERWRITERS LABORATORIES LABEL OF APPROVAL, AND SHALL CONFORM TO REQUIREMENT OF THE NATIONAL ELECTRICAL CODE.
- 4.2. ALL OVERCURRENT DEVICES SHALL HAVE AN INTERRUPTING CURRENT RATING THAT SHALL BE GREATER THAN THE SHORT CIRCUIT CURRENT TO WHICH THEY ARE SUBJECTED, 22,000 AIC MINIMUM. VERIFY AVAILABLE SHORT CIRCUIT CURRENT DOES NOT EXCEED THE RATING OF ELECTRICAL EQUIPMENT IN ACCORDANCE WITH ARTICLE 110.24 NEC OR THE MOST CURRENT ADOPTED CODE PRE THE GOVERNING JURISDICTION.
5. EACH END OF EVERY POWER PHASE CONDUCTOR, GROUNDING CONDUCTOR, AND TELCO CONDUCTOR OR CABLE SHALL BE LABELED WITH COLOR-CODED INSULATION OR ELECTRICAL TAPE (3M BRAND, 1/2" PLASTIC ELECTRICAL TAPE WITH UV PROTECTION, OR EQUAL). THE IDENTIFICATION METHOD SHALL CONFORM WITH NEC AND OSHA.
6. ALL ELECTRICAL COMPONENTS SHALL BE CLEARLY LABELED WITH LAMICOID TAGS SHOWING THEIR RATED VOLTAGE, PHASE CONFIGURATION, WIRE CONFIGURATION, POWER OR AMPACITY RATING AND BRANCH CIRCUIT ID NUMBERS (i.e. PANEL BOARD AND CIRCUIT ID'S).
7. PANEL BOARDS (ID NUMBERS) SHALL BE CLEARLY LABELED WITH PLASTIC LABELS.
8. TIE WRAPS ARE NOT ALLOWED.
9. ALL POWER AND EQUIPMENT GROUND WIRING IN TUBING OR CONDUIT SHALL BE SINGLE COPPER CONDUCTOR (#14 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
10. SUPPLEMENTAL EQUIPMENT GROUND WIRING LOCATED INDOORS SHALL BE SINGLE COPPER CONDUCTOR (#6 OR LARGER) WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
11. POWER AND CONTROL WIRING IN FLEXIBLE CORD SHALL BE MULTI-CONDUCTOR, TYPE SOOW CORD (#14 OR LARGER) UNLESS OTHERWISE SPECIFIED.
12. POWER AND CONTROL WIRING FOR USE IN CABLE TRAY SHALL BE MULTI-CONDUCTOR, TYPE TC CABLE (#14 OR LARGER), WITH TYPE THHW, THWN, THWN-2, XHHW, XHHW-2, THW, THW-2, RHW, OR RHW-2 INSULATION UNLESS OTHERWISE SPECIFIED.
13. ALL POWER AND GROUNDING CONNECTIONS SHALL BE CRIMP-STYLE, COMPRESSION WIRE LUGS AND WIRE NUTS BY THOMAS AND BETTS (OR EQUAL). LUGS AND WIRE NUTS SHALL BE RATED FOR OPERATION NOT LESS THAN 75° C (90° C IF AVAILABLE).
14. RACEWAY AND CABLE TRAY SHALL BE LISTED OR LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND NEC.
15. ELECTRICAL METALLIC TUBING (EMT), INTERMEDIATE METAL CONDUIT (IMC), OR RIGID METAL CONDUIT (RMC) SHALL BE USED FOR EXPOSED INDOOR LOCATIONS.
16. ELECTRICAL METALLIC TUBING (EMT) OR METAL-CLAD CABLE (MC) SHALL BE USED FOR CONCEALED INDOOR LOCATIONS.
17. SCHEDULE 40 PVC UNDERGROUND ON STRAIGHTS AND SCHEDULE 80 PVC FOR ALL ELBOWS/90s AND ALL APPROVED ABOVE GRADE PVC CONDUIT.
18. LIQUID-TIGHT FLEXIBLE METALLIC CONDUIT (LIQUID-TITE FLEX) SHALL BE USED INDOORS AND OUTDOORS, WHERE VIBRATION OCCURS OR FLEXIBILITY IS NEEDED.
19. CONDUIT AND TUBING FITTINGS SHALL BE THREADED OR COMPRESSION-TYPE AND APPROVED FOR THE LOCATION USED. SET SCREW FITTINGS ARE NOT ACCEPTABLE.
20. CABINETS, BOXES AND WIRE WAYS SHALL BE LABELED FOR ELECTRICAL USE IN ACCORDANCE WITH NEMA, UL, ANSI/IEEE AND THE NEC.
21. WIREWAYS SHALL BE METAL WITH AN ENAMEL FINISH AND INCLUDE A HINGED COVER, DESIGNED TO SWING OPEN DOWNWARDS (WIREMOLD SPECMATE WIREWAY).
22. SLOTTED WIRING DUCT SHALL BE PVC AND INCLUDE COVER (PANDUIT TYPE E OR EQUAL).
23. CONDUITS SHALL BE FASTENED SECURELY IN PLACE WITH APPROVED NON-PERFORATED STRAPS AND HANGERS. EXPLOSIVE DEVICES (i.e. POWDER-ACTUATED) FOR ATTACHING HANGERS TO STRUCTURE WILL NOT BE PERMITTED. CLOSELY FOLLOW THE LINES OF THE STRUCTURE, MAINTAIN CLOSE PROXIMITY TO THE STRUCTURE AND KEEP CONDUITS IN TIGHT ENVELOPES. CHANGES IN DIRECTION TO ROUTE AROUND OBSTACLES SHALL BE MADE WITH CONDUIT OUTLET BODIES. CONDUIT SHALL BE INSTALLED IN A NEAT AND WORKMANLIKE MANNER. PARALLEL AND PERPENDICULAR TO STRUCTURE WALL AND CEILING LINES. ALL CONDUIT SHALL BE FISHED TO CLEAR OBSTRUCTIONS. ENDS OF CONDUITS SHALL BE TEMPORARILY CAPPED FLUSH TO FINISH GRADE TO PREVENT CONCRETE, PLASTER OR DIRT FROM ENTERING. CONDUITS SHALL BE RIGIDLY CLAMPED TO BOXES BY GALVANIZED MALLEABLE IRON BUSHING ON INSIDE AND GALVANIZED

MALLEABLE IRON LOCKNUT ON OUTSIDE AND INSIDE.

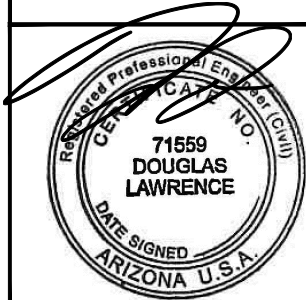
24. EQUIPMENT CABINETS, TERMINAL BOXES, JUNCTION BOXES AND PULL BOXES SHALL BE GALVANIZED OR EPOXY-COATED SHEET STEEL. SHALL MEET OR EXCEED UL 50 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND NEMA 3 (OR BETTER) FOR EXTERIOR LOCATIONS.
25. METAL RECEPTACLE, SWITCH AND DEVICE BOXES SHALL BE GALVANIZED, EPOXY-COATED OR NON-CORRODING; SHALL MEET OR EXCEED UL 514A AND NEMA OS 1 AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
26. NONMETALLIC RECEPTACLE, SWITCH AND DEVICE BOXES SHALL MEET OR EXCEED NEMA OS 2 (NEWEST REVISION) AND BE RATED NEMA 1 (OR BETTER) FOR INTERIOR LOCATIONS AND WEATHER PROTECTED (WP OR BETTER) FOR EXTERIOR LOCATIONS.
27. THE CONTRACTOR SHALL NOTIFY AND OBTAIN NECESSARY AUTHORIZATION FROM THE CARRIER AND/OR DISH WIRELESS, L.L.C., AND TOWER OWNER BEFORE COMMENCING WORK ON THE AC POWER DISTRIBUTION PANELS.
28. THE CONTRACTOR SHALL PROVIDE NECESSARY TAGGING ON THE BREAKERS, CABLES AND DISTRIBUTION PANELS IN ACCORDANCE WITH THE APPLICABLE CODES AND STANDARDS TO SAFEGUARD LIFE AND PROPERTY.
29. INSTALL LAMICOID LABEL ON THE METER CENTER TO SHOW "DISH WIRELESS, L.L.C.".
30. ALL EMPTY/SPARE CONDUITS THAT ARE INSTALLED ARE TO HAVE A METERED MULE TAPE PULL CORD INSTALLED.



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304 WEST ALSDORF RD
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SHEET TITLE
GENERAL NOTES

SHEET NUMBER

GN-3

GROUNDING NOTES:

1. ALL GROUND ELECTRODE SYSTEMS (INCLUDING TELECOMMUNICATION, RADIO, LIGHTNING PROTECTION AND AC POWER GES’S) SHALL BE BONDED TOGETHER AT OR BELOW GRADE, BY TWO OR MORE COPPER BONDING CONDUCTORS IN ACCORDANCE WITH THE NEC.
2. THE CONTRACTOR SHALL PERFORM IEEE FALL–OF–POTENTIAL RESISTANCE TO EARTH TESTING (PER IEEE 1100 AND 81) FOR GROUND ELECTRODE SYSTEMS, THE CONTRACTOR SHALL FURNISH AND INSTALL SUPPLEMENTAL GROUND ELECTRODES AS NEEDED TO ACHIEVE A TEST RESULT OF 5 OHMS OR LESS.
3. THE CONTRACTOR IS RESPONSIBLE FOR PROPERLY SEQUENCING GROUNDING AND UNDERGROUND CONDUIT INSTALLATION AS TO PREVENT ANY LOSS OF CONTINUITY IN THE GROUNDING SYSTEM OR DAMAGE TO THE CONDUIT AND PROVIDE TESTING RESULTS.
4. METAL CONDUIT AND TRAY SHALL BE GROUNDED AND MADE ELECTRICALLY CONTINUOUS WITH LISTED BONDING FITTINGS OR BY BONDING ACROSS THE DISCONTINUITY WITH #6 COPPER WIRE UL APPROVED GROUNDING TYPE CONDUIT CLAMPS.
5. METAL RACEWAY SHALL NOT BE USED AS THE NEC REQUIRED EQUIPMENT GROUND CONDUCTOR. STRANDED COPPER CONDUCTORS WITH GREEN INSULATION, SIZED IN ACCORDANCE WITH THE NEC, SHALL BE FURNISHED AND INSTALLED WITH THE POWER CIRCUITS TO BTS EQUIPMENT.
6. EACH CABINET FRAME SHALL BE DIRECTLY CONNECTED TO THE MASTER GROUND BAR WITH GREEN INSULATED SUPPLEMENTAL EQUIPMENT GROUND WIRES, #6 STRANDED COPPER OR LARGER FOR INDOOR BTS; #2 BARE SOLID TINNED COPPER FOR OUTDOOR BTS.
7. CONNECTIONS TO THE GROUND BUS SHALL NOT BE DOUBLED UP OR STACKED BACK TO BACK CONNECTIONS ON OPPOSITE SIDE OF THE GROUND BUS ARE PERMITTED.
8. ALL EXTERIOR GROUND CONDUCTORS BETWEEN EQUIPMENT/GROUND BARS AND THE GROUND RING SHALL BE #2 SOLID TINNED COPPER UNLESS OTHERWISE INDICATED.
9. ALUMINUM CONDUCTOR OR COPPER CLAD STEEL CONDUCTOR SHALL NOT BE USED FOR GROUNDING CONNECTIONS.
10. USE OF 90° BENDS IN THE PROTECTION GROUNDING CONDUCTORS SHALL BE AVOIDED WHEN 45° BENDS CAN BE ADEQUATELY SUPPORTED.
11. EXOTHERMIC WELDS SHALL BE USED FOR ALL GROUNDING CONNECTIONS BELOW GRADE.
12. ALL GROUND CONNECTIONS ABOVE GRADE (INTERIOR AND EXTERIOR) SHALL BE FORMED USING HIGH PRESS CRIMPS.
13. COMPRESSION GROUND CONNECTIONS MAY BE REPLACED BY EXOTHERMIC WELD CONNECTIONS.
14. ICE BRIDGE BONDING CONDUCTORS SHALL BE EXOTHERMICALLY BONDED OR BOLTED TO THE BRIDGE AND THE TOWER GROUND BAR.
15. APPROVED ANTIOXIDANT COATINGS (i.e. CONDUCTIVE GEL OR PASTE) SHALL BE USED ON ALL COMPRESSION AND BOLTED GROUND CONNECTIONS.
16. ALL EXTERIOR GROUND CONNECTIONS SHALL BE COATED WITH A CORROSION RESISTANT MATERIAL.
17. MISCELLANEOUS ELECTRICAL AND NON–ELECTRICAL METAL BOXES, FRAMES AND SUPPORTS SHALL BE BONDED TO THE GROUND RING, IN ACCORDANCE WITH THE NEC.
18. BOND ALL METALLIC OBJECTS WITHIN 6 ft OF MAIN GROUND RING WITH (1) #2 BARE SOLID TINNED COPPER GROUND CONDUCTOR.
19. GROUND CONDUCTORS USED FOR THE FACILITY GROUNDING AND LIGHTNING PROTECTION SYSTEMS SHALL NOT BE ROUTED THROUGH METALLIC OBJECTS THAT FORM A RING AROUND THE CONDUCTOR, SUCH AS METALLIC CONDUITS, METAL SUPPORT CLIPS OR SLEEVES THROUGH WALLS OR FLOORS. WHEN IT IS REQUIRED TO BE HOUSED IN CONDUIT TO MEET CODE REQUIREMENTS OR LOCAL CONDITIONS, NON–METALLIC MATERIAL SUCH AS PVC CONDUIT SHALL BE USED. WHERE USE OF METAL CONDUIT IS UNAVOIDABLE (i.e., NONMETALLIC CONDUIT PROHIBITED BY LOCAL CODE) THE GROUND CONDUCTOR SHALL BE BONDED TO EACH END OF THE METAL CONDUIT.
20. ALL GROUNDS THAT TRANSITION FROM BELOW GRADE TO ABOVE GRADE MUST BE #2 BARE SOLID TINNED COPPER IN 3/4” NON–METALLIC, FLEXIBLE CONDUIT FROM 24” BELOW GRADE TO WITHIN 3” TO 6” OF CAD–WELD TERMINATION POINT. THE EXPOSED END OF THE CONDUIT MUST BE SEALED WITH SILICONE CAULK. (ADD TRANSITIONING GROUND STANDARD DETAIL AS WELL).
21. BUILDINGS WHERE THE MAIN GROUNDING CONDUCTORS ARE REQUIRED TO BE ROUTED TO GRADE, THE CONTRACTOR SHALL ROUTE TWO GROUNDING CONDUCTORS FROM THE ROOFTOP, TOWERS, AND WATER TOWERS GROUNDING RING, TO THE EXISTING GROUNDING SYSTEM, THE GROUNDING CONDUCTORS SHALL NOT BE SMALLER THAN 2/0 COPPER. ROOFTOP GROUNDING RING SHALL BE BONDED TO THE EXISTING GROUNDING SYSTEM, THE BUILDING STEEL COLUMNS, LIGHTNING PROTECTION SYSTEM, AND BUILDING MAIN WATER LINE (FERROUS OR NONFERROUS METAL PIPING ONLY). DO NOT ATTACH GROUNDING TO FIRE SPRINKLER SYSTEM PIPES.



5701 SOUTH SANTA FE DRIVE
LITTLETON, CO 80120



TOWER ENGINEERING PROFESSIONALS
326 TRYON RD. RALEIGH, NC 27603
OFFICE: (919) 661–6351
NC LIC# P–1403



Expires: 06/30/2023

October 8, 2021

IT IS A VIOLATION OF LAW FOR ANY PERSON,
UNLESS THEY ARE ACTING UNDER THE DIRECTION
OF A LICENSED PROFESSIONAL ENGINEER,
TO ALTER THIS DOCUMENT.

DRAWN BY: CHECKED BY: APPROVED BY:

ODS DL DL

RFDS REV #: TBD

PRELIMINARY
DOCUMENTS

SUBMITTALS		
REV	DATE	DESCRIPTION
A	09–08–21	PRELIMINARY
0	09–29–21	CONSTRUCTION
1	10–08–21	CONSTRUCTION

A&E PROJECT NUMBER

304876.284328

DISH WIRELESS, L.L.C.
PROJECT INFORMATION

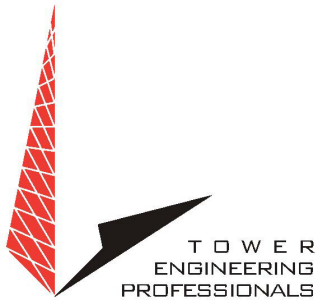
PXPHX00247B
304 WEST ALSDORF RD
ELOY, AZ 85131

SHEET TITLE

GENERAL NOTES

SHEET NUMBER

GN-4



TEP PHOENIX OFFICE
4710 E. ELWOOD, SUITE 9
PHOENIX, AZ 85040
480-599-1852
WWW.TEPGROUP.NET

January 27th, 2021

RE: PROJECT NARRATIVE FOR TELECOMMUNICATIONS FACILITY

PROJECT SITE ADDRESS: 304 West Alsdorf Rd, Eloy, AZ 85131
PARCEL NUMBER: 405060720
DISH NETWORK SITE NUMBER: PXPXH00247B

City of Eloy:

Please see construction drawings for the proposed wireless installation at the above referenced location. The proposed scope of work is as follows:

Installation of (3) antennas, (6) RRU's, and related equipment on an existing light pole. Additionally, (1) metal platform, (1) new equipment cabinet and related ground equipment installation within the proposed 10'x15' chain linked fenced compound. The light pole is in the CR-IA zoning district. The facility is unmanned and not for human habitation. Please see Constructions Drawings for additional details.

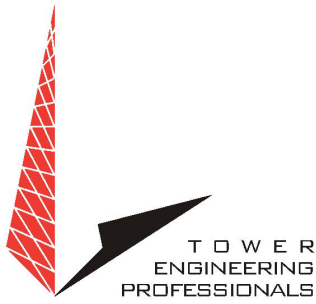
The proposed modification will not increase the height of the existing light pole and will provide more communication capacity for the surrounding area as well as improve public safety by providing more reliable E-911 coverage. According to the FCC, Section 6409 of the Spectrum Act, this proposed modification is an eligible facilities request.

I look forward to working with the City of Eloy in obtaining Zoning approval for this site. As the primary point of contact for this project, please let me know if you need further information.

Sincerely,

Carol Kincheloe

Site Acquisition Agent



TEP PHOENIX OFFICE
4710 E. ELWOOD, SUITE 9
PHOENIX, AZ 85040
480-285-0035
WWW.TEPGROUP.NET

April 5, 2022

Re: City of Eloy Neighborhood Zoom Meeting Outcome for Dish Wireless collocation project located at 304 West Alsdorf, Eloy, AZ 85131.

To Planning Department:

We conducted our zoom meeting with the following link below on 3/30/22 at 1:30pm.

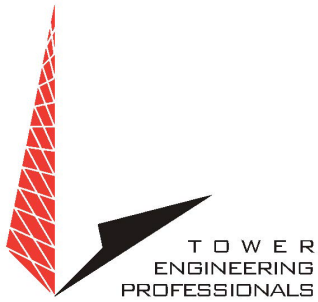
The link for this meeting is below:

Join Zoom Meeting:

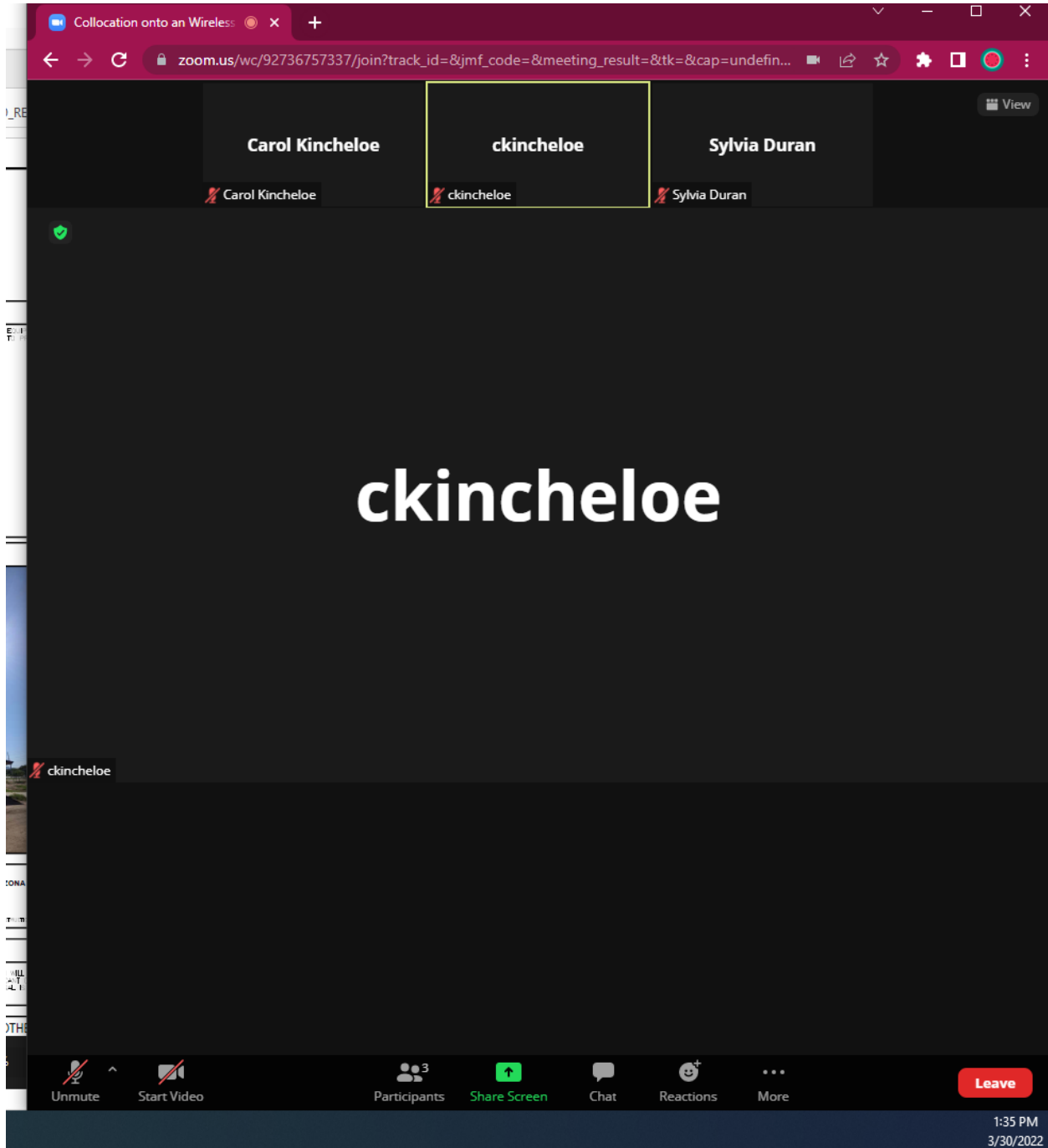
<https://zoom.us/j/92736757337?pwd=TDRMRWVLbk5CQjYd0dybnZzUmtBdz09>

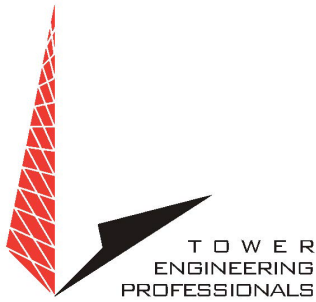
Meeting ID: 927 3675 7337 Passcode: vd7Vu5

Sylvia Duran and Carol Kincheloe logged on via Zoom at 1:30pm on March 30, 2022. A person with a Galaxy logged on we asked for anyone to please speak up with any questions while we had the construction drawings shared on the screen and then the unknown person dropped off. At 1:50pm, Pearlina Hoyte, joined the meeting asked about the project. She thought it was going on her property and we confirmed this will be Dish Wireless adding antennas on a light pole at the elementary school at 304 West Alsdorf Road, Eloy, AZ 85131. They did mention this would be a benefit if this adds more coverage to their area. We then waited until 2:05pm for any other property owners to participate. No one else joined and the meeting was ended. We provided the screenshots below for reference.



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4710 E. ELWOOD, SUITE 9
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480-285-0035
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4710 E. ELWOOD, SUITE 9
PHOENIX, AZ 85040
480-285-0035
WWW.TEPGROUP.NET

Collocation onto an Wireless

Site Plan Details:

- SECTION 1:** SITE PHOTO
- SECTION 2:** DIRECTIONS
- SECTION 3:** VICINITY MAP
- SECTION 4:** UNDERGROUND SERVICE ALERT
- SECTION 5:** GENERAL NOTES
- SECTION 6:** 11"x17" PLOT WILL BE HALF SCALE UNLESS OTHERWISE NOTED

Technical Drawing Details:

- SCOPE OF WORK:**
 - 1. SITE VISIT
 - 2. PHOTOGRAPHY
 - 3. MEASUREMENTS
 - 4. SURVEY
 - 5. DESIGN
 - 6. CONSTRUCTION
 - 7. MAINTENANCE
 - 8. DEMOLITION
 - 9. REPAIRS
 - 10. REPLACEMENTS
 - 11. REMEDIATION
 - 12. RESTORATION
 - 13. REUSE
 - 14. RECYCLING
 - 15. REPAIRS
 - 16. REPLACEMENTS
 - 17. REMEDIATION
 - 18. RESTORATION
 - 19. REUSE
 - 20. RECYCLING
- GENERAL NOTES:**
 - 1. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
 - 2. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
 - 3. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.
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 - 20. THE USER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL, STATE, AND FEDERAL AGENCIES.

Participant List:

- Carol Kincheloe
- Sylvia Duran

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.B.**

Date: **5/19/2022**

Date submitted:

05/06/2022

Action: Other

Subject:

Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval, or other action on Case No.: CUP2022-008 (Project Name: Dish Network Site Number PXPXH00247B)

Date requested:

5/19/2022

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

City Staff recommends approval with conditions for Case No.: CUP2022-008.

DISCUSSION:

FISCAL IMPACT:

There is not a direct fiscal impact on the City if this request is approved. However, the upgrade in cell phone/handheld device service will benefit existing and future Dish Network customers in the area and traveling within proximity of the proposed site.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.C.**

Date: **5/19/2022**

Date submitted:
05/06/2022

Action: Other

Date requested:
5/19/2022

Subject: Public Hearing to allow comment from the public and interested parties on the proposed Case No.: CUP2022-017: Application by Trepic Networks, c/o Kelsie Miller, to request a Conditional Use Permit to collocate telecommunications equipment to be affixed at a height of approximately 125' on an existing 139' high monopole antenna located at the Toltec Elementary School (3315 North Toltec Road, Eloy, Arizona 8513). The existing monopole is located to the west of the school buildings and in the center portion of the parcel on Pinal County Assessor's Parcel Number: 403-07-1610 in a portion of Section 28, Township 7 South, Range 7 East of the Gila and Salt River Based and Meridian, Pinal County, Arizona. (Project Name: Trepic Networks)

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve (with conditions) a Conditional Use Permit application by Trepic Networks to provide wireless broadband internet service and collocate supportive broadband equipment to be affixed at approximately a height of 125' on an existing 139' high monopole antenna and install ground equipment within an enclosed 50' X 50' leased chain link fenced area on the west side of the Toltec Elementary School (3315 North Toltec Road) on assessor's parcel number 403-07-1610 held by Toltec Elementary School District 22.

DISCUSSION:

The City received an application from Trepic Networks to collocate broadband equipment on an existing 139' high monopole. The collocation would be located at a height of 125 feet above finish grade with supportive ground equipment (See scope of work). The facility is and will be unmanned and not constructed for human habitation.

The proposed collocation of the telecommunications equipment will not increase the height of the existing monopole and will provide broadband internet for the surrounding area.

The applicant held a preapplication meeting via Zoom with city staff on April 6, 2022 and notified and conducted a neighborhood meeting on April 27, 2022. The input provided at the neighborhood Zoom meeting (with zero participation) occurred through a phone call received by one individual prior to the Zoom meeting. The caller indicated that they had no opposition to the proposed request.

The subject property is designated as P/I (Public Institutional) on the Eloy General Plan Land Use Plan and is zoned R1-6 (Single Family Residential) on the Official Eloy Zoning Map. If approved, this request would be in conformance with the Eloy General Plan and the Eloy Zoning Ordinance as per Eloy City Code, Chapter 21-Zoning, Section 21-2-2.3: Residential Use Standards-Wireless Facilities (including towers and supporting facilities) is a permitted use with an approved Conditional Use Permit.

As required by ARS § 9-462.04, this item will be conducted as a "Public Hearing". Notice of the public hearing was given at least fifteen (15) days before the hearing for publication of the notice in the Eloy Enterprise, a copy of the public notice was sent out via regular mail to property owner's within 300 feet of the subject parcel and posting of the notice at the official City posting locations.

Scope of Work

Monopole Equipment:

Elevation 1(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A90 11.6, 1 Line, Conduit

Elevation 2(# of Antennas/ # of Lines): At elevation 125', will install MicroTik, Model netPower 16P, 2 Lines, Multiple Line Types

Elevation 3(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A60, 1 Line, Conduit

Elevation 4(# of Antennas/ # of Lines): At elevation 125', will install Ubiquiti, LTU-ROCKET, 5 Lines, CAT5

Additional Elevations (if necessary): At elevation 125', will install Ubiquiti, 60 GHz Wave AP, 6 Lines, CAT5

Additional Elevations (if necessary): At elevation 125', will install Cambium Networks, 3 GHz PHP 450m Access Point, 2 Lines, Multiple Line types

Additional Elevations (if necessary): At elevation 125', will install Ubiquiti, AF-11FX, 2

Lines, CAT5

Groundwork:

3' from the existing monopole and 1' from the existing chain a 2'x2' space will be designated for the electrical box. Other groundwork will include the following: Install 3 feet of Ice bridge from monopole to H Frame. Install H Frame Structure for cabinet and run a 15Amp Power Circuit from Power Disconnect and Install Meter Disconnect and Power Disconnect from existing meter bank onsite. Install Electronics Cabinet on H Frame. Run Cabling on Ice Bridge from Monopole to H Frame and Into Cabinet.

RECOMMENDATIONS:

Staff recommends that this request for a Conditional Use Permit be **approved** subject to the following conditions:

1. That the equipment shall be installed within a period of twelve (12) months from the date of City Council approval of this conditional use permit per the Preliminary Development Plan submitted with the application, or this conditional use permit shall become null and void;
2. That approval of this Conditional Use Permit shall be for a maximum of five (5) years from the date of Council approval;
3. That, within one (one) year prior to the expiration date, the owner shall renew the conditional use permit through submittal of an Administrative Waiver to the Community Development Department.
4. That a Building Permit shall be obtained through the Eloy Building Safety Division;
5. That a Right-of-way permit application and fee shall be submitted to the Public Works Department for any work conducted in the City's right-of -way;
6. That a map of the service area for the facility shall be submitted at the time of building plan submittal;
7. That development of the conditional use shall be per the scope of work submitted with the application;
8. That the monopole and ground equipment shall comply with ALL conditions, if identified by the FAA;
9. That the ground equipment and related structures, if any, shall use materials, colors, textures, screening that would blend into the existing exterior building color and existing landscape setting;
10. That the above ground equipment cabinet should be completely screened by the existing chain link fence;
11. That all equipment shall be unmanned and shall comply with all applicable building codes;
12. That any exterior lighting shall be fully shielded within the fenced area and shall be mounted on poles or on the equipment box below the height of the existing chain-link-fence;
13. That no signs shall be allowed on the monopole or any portions of the lease area except for the identification of a permanently installed plaque or marker, no larger than 4" x 6", clearly identifying the provider's name, address, and emergency phone number; and

14. That the monopole shall allow for co-location by at least three (3) other wireless communication providers. The owner must certify that the light pole is available for use by other wireless telecommunications providers on a reasonable, non-discriminatory basis prior to the issuance of the building permit.

FISCAL IMPACT:

There is not a direct fiscal impact on the City if this request is approved. However, having additional wireless broadband service will benefit existing and future internet customers in the area with proximity to the proposed site.

Conditional Use Permit Project Narrative

Trepic Networks Request to Affix at Approximately 125' Height of the Existing Height
Monopole at the Toltec Elementary School Campus

3315 North Toltec Road, Eloy AZ 85131

Submitted By:

Kelsie Miller

Trepic Networks

633 East Ray Road

Suite 113

Gilbert, Arizona 85296

623-349-4172 ext 104

kelsie@trepicnetworks.com

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Arial Photo of the Monopole



Ground Level Photo of the Monopole in Existing Condition

The existing monopole is 139' tall. Trepic Networks will install equipment at 125'. Existing equipment on the monopole will not be removed.

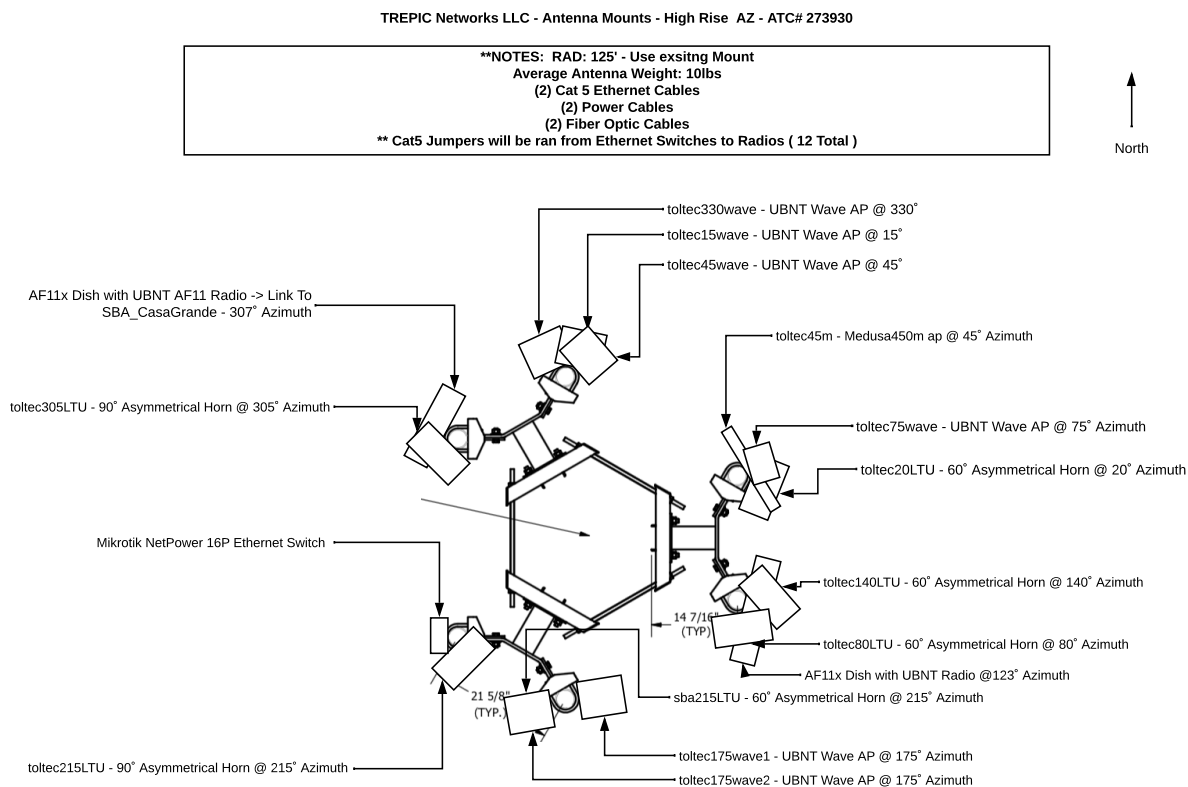


Ground Level Photo of the Monopole in Proposed Condition



Additional Equipment Drawing

This equipment will be added at 125' to the existing 139' tower



TREPIC Networks LLC
 Anthony: 307-680-5829 / Shane: 307-680-4069
 team@trepicnetworks.com

Project Narrative

Current and Proposed General Plan Designation:

Trepic Networks provides wireless broadband internet service to areas in Eloy, Coolidge, Casa Grande, Florence, Gilbert, Mesa, and Queen Creek. These areas are growing quickly, and people want and need internet service that is reliable, high quality, and priced competitively. There is an existing 139' monopole owned by the Toltec Elementary School District 22 located at 3315 N. Toltec Road, Eloy, AZ 85131 the new equipment will be added on existing equipment was abandoned by a previous carrier. No equipment will be removed from the monopole. A 2' by 2' electrical box will be installed next to the existing pole that is located within the existing chain linked fenced areas. This existing monopole is the best option because of its height and proximity to many people who can receive our internet service.

Current Zoning District:

The property is zoned as R1-6 (Single Family Residential). The primary use of the property is to serve as the Toltec Elementary School. The tower is located on the property to the west of the elementary school. The Pinal County Parcel Number is 403-07-1610. We are not electing or requesting to change zoning of the property nor are locating any facilities outside of the existing chain link fence.

Proposed Use Compliance:

Some highlights of the City of Eloy's General Plan are to provide employment opportunities for all residents, encourage private enterprise, and improve the livability of the community. Trepic Networks is a crucial part of attaining these goals. Providing residents with reliable and low-cost internet service will improve the lives of each resident. Internet service is essential for work, school, and socializing in 2022, and Trepic Networks can play a part in allowing all Eloy residents to engage in these activities. Trepic Networks internet can provide employment areas for people in the coverage area by allowing them internet speeds to work from home. Businesses, who have been hindered by poor speed or no options will now be able to thrive.

Proposed Use Suitability:

The existing underutilized monopole is permitted within the existing zoning district because it was previously constructed and used by Cricket. There is abandoned equipment on the tower from a business who provided internet or cellular services. This location is suitable because there are 53 businesses and homes within a 300' area, and hundreds more within the service area of the monopole. After completion of the project, all these businesses and homes can purchase and use to Trepic Networks internet. The cost for residential service ranges from \$49.95 to \$136.95 per month. The cost for business service ranges from \$109 to \$414 per month.

Impact Surrounding Uses and Properties

There will be little to no impact on the surrounding uses and properties. The existing monopole is standing and in good condition. There will be minimal, one day, construction to mount our

monopole equipment and place the electrical box. Steps taken to minimize impact on surrounding uses and properties include minimal construction, and construction during the day and not at night.

Design Guidelines

There are no plans to increase or improve any landscaping at the location. All equipment will be mounted at 125 feet on the existing monopole. The ground mounted electrical box will be placed inside the existing chain link fence per the lease agreement.

Scope of Work:

Elevation 1(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A90 11.6, 1 Line, Conduit

Elevation 2(# of Antennas/ # of Lines): At elevation 125', will install MicroTik, Model netPower 16P, 2 Lines, Multiple Line Types

Elevation 3(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A60, 1 Line, Conduit

Elevation 4(# of Antennas/ # of Lines): At elevation 125', will install Ubiquiti, LTU-ROCKET, 5 Lines, CAT5

Additional Elevations (if necessary): At elevation 125', will install Ubiquiti, 60 GHz Wave AP, 6 Lines, CAT5

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No equipment will be removed from the tower.

Groundwork will include the following: Install 3 feet of Ice bridge from monopole to H Frame. Install H Frame Structure for cabinet and run 15Amp Power Circuit from Power Disconnect and Install Meter Disconnect and Power Disconnect from Existing meter bank onsite. Install Electronics Cabinet on H Frame. Run Cabling on Ice Bridge from Monopole to H Frame and Into Cabinet.

Conditional Use Permit Preliminary Development Plan

Trepic Networks Request to Affix at Approximately 125' Height of the Existing Height
Monopole at the Toltec Elementary School Campus

3315 North Toltec Road, Eloy AZ 85131

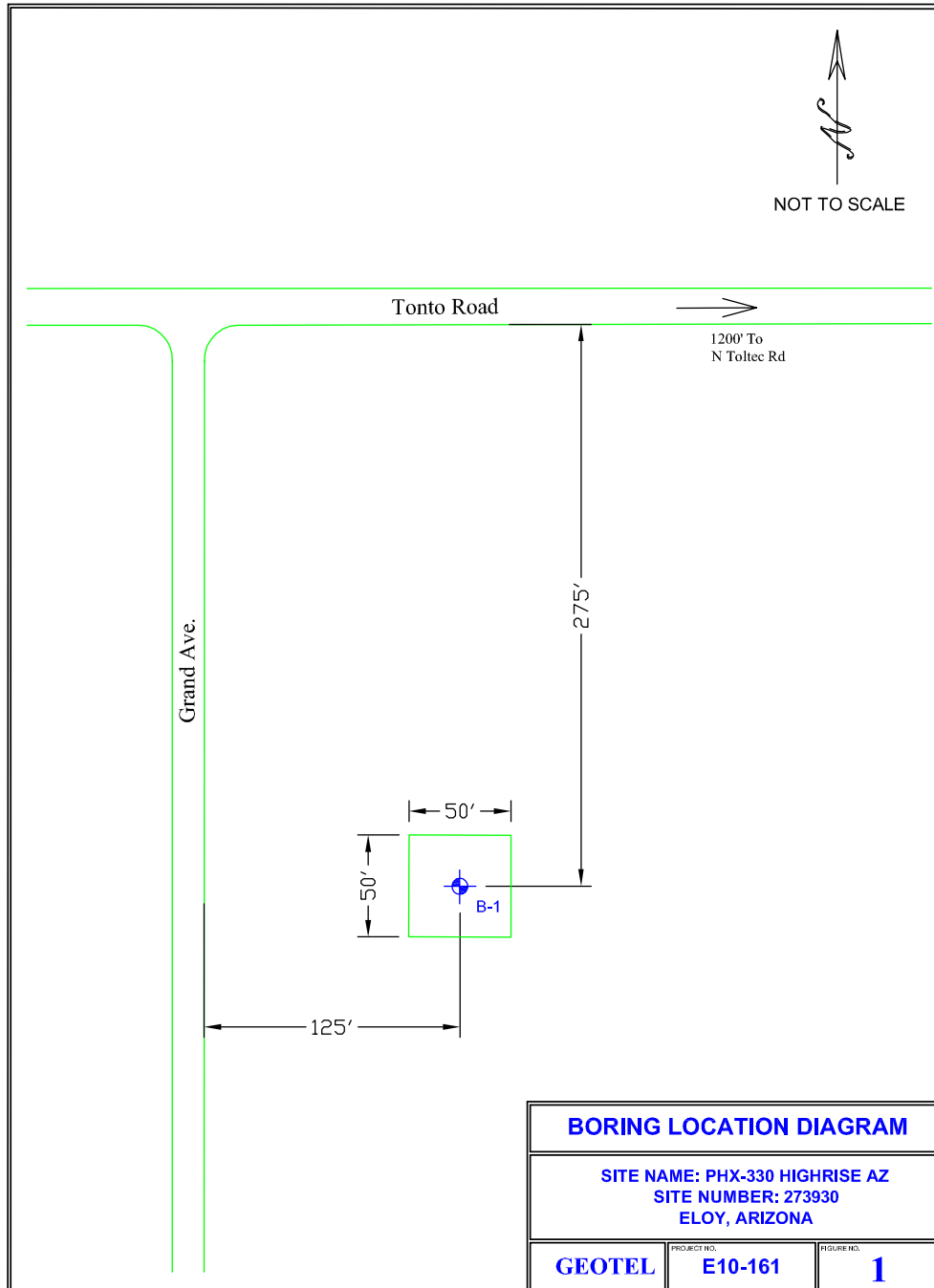
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Site Plans

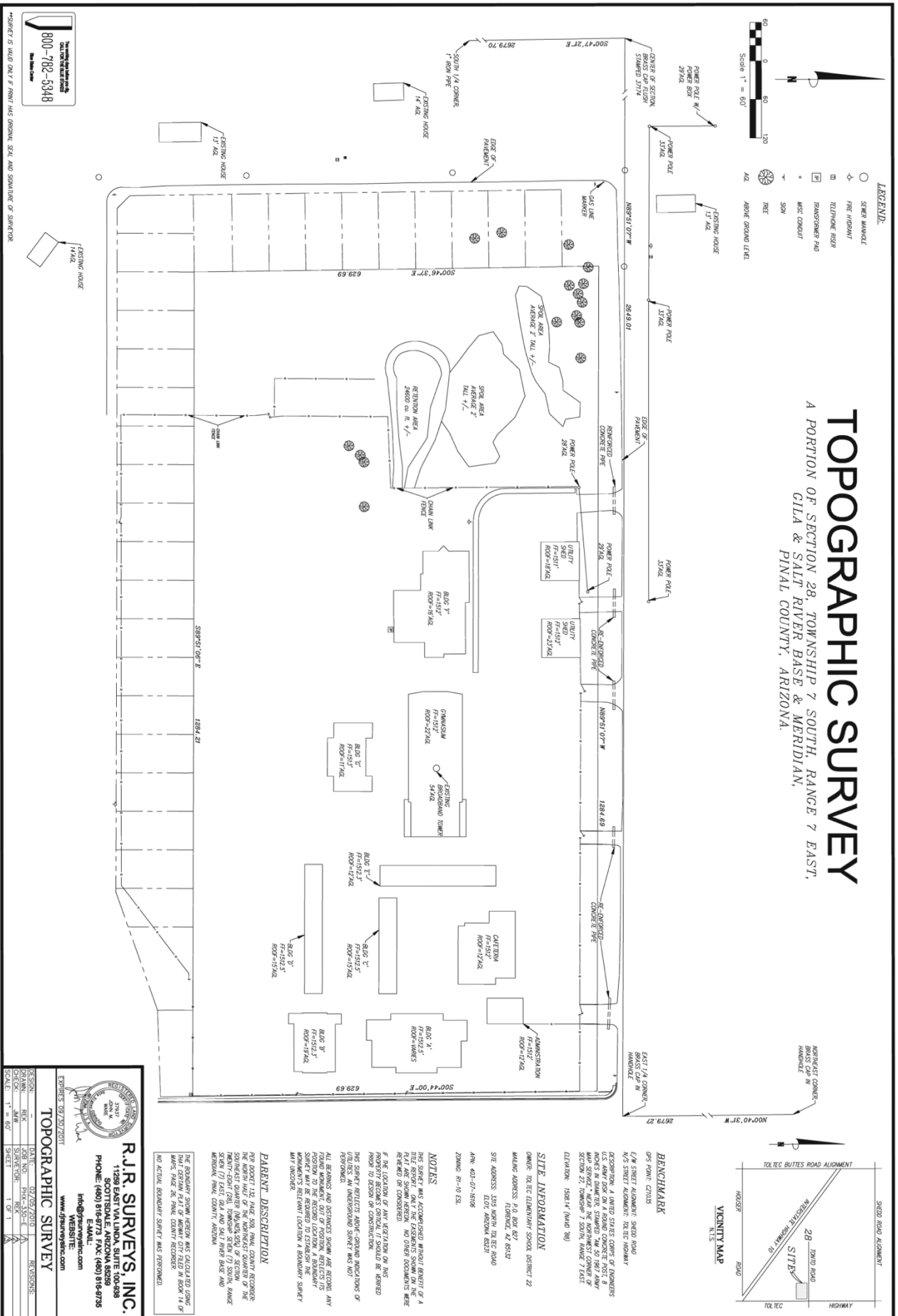
Lot Dimensions:

The Pinal County Parcel Number is 403-07-1610 is 20 Acres, which is 871,200 square feet. Trepic Networks will mount equipment on an existing monopole that is located on the west side of the property. All equipment will be mounted inside the existing 50' x 50' chain-link fence.



Topography:

Trepic Networks is not electing to change the grade of the existing ground surface. All surfaces will remain as they currently exist.



Proposed Block Layout, Street System, Improvements, and Dedications:

Trepic Networks is not electing to build or change any of the existing block layout or street systems. All block layouts and street systems will remain as they currently exist.

Land Proposed for Parks, Parkways, Playgrounds, Recreation Areas, Pedestrian Access, and Other Open Space:

Trepic Networks is not electing to build or change any of the parks, parkways, playgrounds, recreation areas, pedestrian access, and other open spaces. All parks, parkways, playgrounds, recreation areas, pedestrian access, and other open spaces will remain as they currently exist.

Landscape Plan:

Trepic Networks is not electing to build or change any of the landscaping. All landscaping will remain as it currently exists.

All Buildings and Structures Including Building Elevations:

Trepic Networks will mount equipment to an existing monopole that is 139' high. The equipment will be mounted at 125'. No equipment will be removed from the monopole. Inside of the fenced area Trepic Networks will build an H-Structure that includes 2 Pipes with Unistrut between the Pipes. On the Back of the H-Structure we will place our Breaker Panel. From the Breaker Panel we will connect it to the existing Power Meter Bank that is on Site. On the reverse side of the H-Structure we will place our electronics equipment cabinet

Proposed Building and Structures Photographs



This photo is the existing breaker panel without the meter.



This photo is an example of a Tropic Networks electronic cabinet. A similar cabinet will be built within the existing chain link fence.



Proposed Lighting:

Trepic Networks is not electing to build or change any of the lighting. All lighting will remain as it currently exists.

Wall Detail/Trash Enclosure Detail:

Trepic Networks is not electing to build or change any of the wall detail/trash enclosure detail. All wall detail/trash enclosure detail will remain as it currently exists.

Utility Plans:

There are existing electric utilities through Toltec/Highrise Meter Bank. Trepic Networks will connect to one of the existing blank meter cans.

Scope of Work

Monopole Equipment:

Elevation 1(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A90 11.6, 1 Line, Conduit

Elevation 2(# of Antennas/ # of Lines): At elevation 125', will install MicroTik, Model netPower 16P, 2 Lines, Multiple Line Types

Elevation 3(# of Antennas/ # of Lines): At elevation 125', will install RF Elements, Model HG3-TP-A60, 1 Line, Conduit

Elevation 4(# of Antennas/ # of Lines): At elevation 125', will install Ubiquiti, LTU-ROCKET, 5 Lines, CAT5

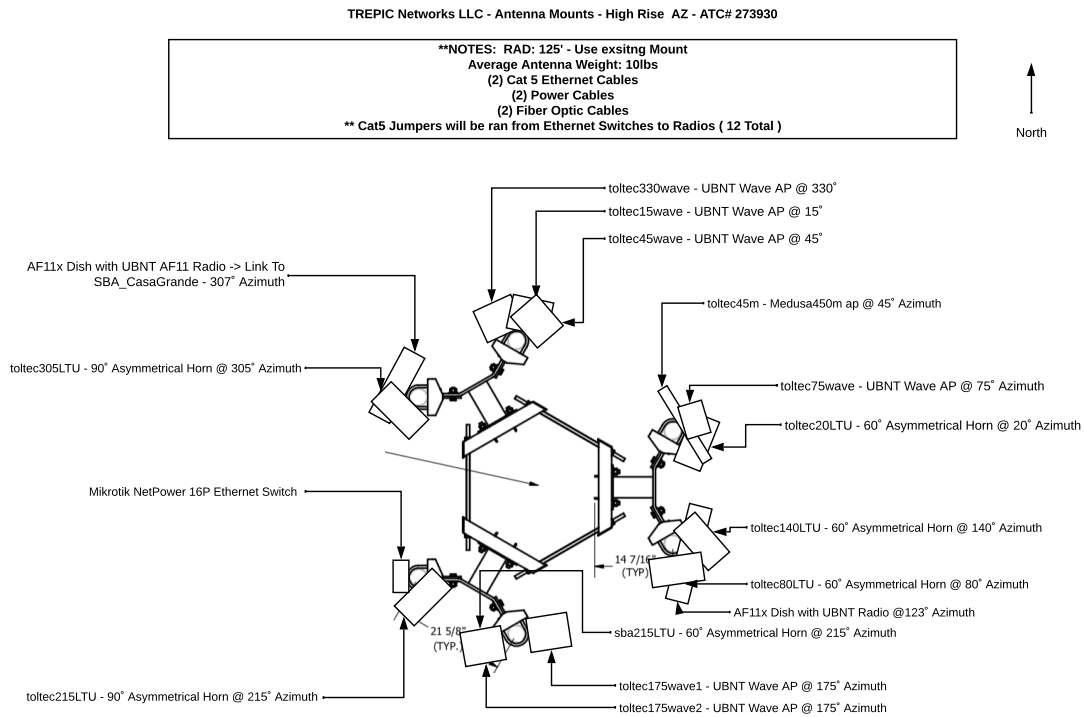
Additional Elevations (if necessary): At elevation 125', will install Ubiquiti, 60 GHz Wave AP, 6 Lines, CAT5

Additional Elevations (if necessary): At elevation 125', will install Cambium Networks, 3 GHz PHP 450m Access Point, 2 Lines, Multiple Line types

Additional Elevations (if necessary): At elevation 125', will install Ubiquiti, AF-11FX, 2 Lines, CAT5

No equipment will be removed from the tower.

Monopole Equipment Drawing:



TREPIC Networks LLC
 Anthony: 307-680-5829 / Shane: 307-680-4069
 team@trepicnetworks.com

Groundwork:

3' from the existing monopole and 1' from the existing chain a 2'x2' space will be designated for the electrical box. Other groundwork will include the following: Install 3 feet of Ice bridge from monopole to H Frame. Install H Frame Structure for cabinet and run 15Amp Power Circuit from Power Disconnect and Install Meter Disconnect and Power Disconnect from Existing meter bank onsite. Install Electronics Cabinet on H Frame. Run Cabling on Ice Bridge from Monopole to H Frame and Into Cabinet.



Conditional Use Permit Legal Description of Property

Trepic Networks Request to Affix at Approximately 125' Height of the Existing Height
Monopole at the Toltec Elementary School Campus

3315 North Toltec Road, Eloy AZ 85131

Submitted By:

Kelsie Miller

Trepic Networks

633 East Ray Road

Suite 113

Gilbert, Arizona 85296

623-349-4172 ext 104

kelsie@trepicnetworks.com

Legal Description of Property

Pinal County Parcel Number 403-07-1610. The section is 28, township 07S, and range 07E. The property is zoned as R1-6 Single Family Residential. The primary owner of the property is Toltec Elementary School District 22. The parcel size is 20 Acres. The tax area code is 2210. The "Land Legal Class" is 02RL – Vacant Land/Non-Profit Imp. The "Impr. Legal Class" is 02RI – Residential Imp/Non-Profit Imp. Primary use for this property is government. The category is county, schools. The full cash value for the property is \$3,280,727.00.

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.D.**

Date: **5/19/2022**

Date submitted:

05/06/2022

Action: Other

Subject: Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval, or other action on Case No.: CUP2022-017 (Project Name: Trepic Networks)

Date requested:

5/19/2022

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

Staff recommends approval with conditions for Case No.: CUP2022-017

DISCUSSION:

FISCAL IMPACT:

CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.E.**

Date: **5/19/2022**

Date submitted:
05/06/2022

Action: Other

Date requested:
5/19/2022

Subject: Public Hearing to allow comment from the public and interested parties on proposed Case No.: CUP2022-018: Application by Francis Roses for a Conditional Use Permit to install seven (7) manufactured homes (model year 2022) for employee housing at 4550 E Milligan Road, Eloy, Arizona 85131 to support rose breeding, propagation and shipping operations within an approximate 10.00 acre internal tract, on a portion of Assessor's Parcel Number 411-01-004A, with the tract more specifically described as the W1/2 of the W1/2 of the SW1/4 of the SE1/4 of Section 12 of Township 8 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona (Project Name: Red Rose)

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

Staff recommends that the Planning and Zoning Commission approve (with conditions) a Conditional Use Permit application by Tyler M. Francis representing Francis Roses to install seven (7) manufactured homes (model year 2022) for employee housing at 4550 E. Milligan Road, Eloy, Arizona 85131 to support rose breeding, propagation and shipping operations within an approximate 10.00 acre tract of Pinal County Assessor's Parcel Number: 411-01-004A (W1/2 of the W1/2 of the SW1/4 of the SE1/2 of Section 12, Township 8 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona)

DISCUSSION:

The City received an application by Tyler M. Francis representing Francis Roses for a Conditional Use Permit to install seven (7) manufactured homes (model year 2022) for employee housing at 4550 E. Milligan Road, Eloy, Arizona 85131 in the R1-43 (Estate Residential) Zoning District to support rose breeding, propagation and shipping operations within an approximate 10.00 acre tract of Pinal County Assessor's Parcel Number: 411-01-004A (W1/2 of the W1/2 of the SW1/4 of the SE1/2 of Section 12, Township 8 South, Range 8 East of the Gila and Salt River Base and Meridian, Pinal County, Arizona).

The Eloy City Code does not permit, by right, the installation of manufactured homes in the R1-43 (Estate Residential) Zoning District. However, the R1-43 District allows for caretaker living quarters with the approval of a Conditional Use Permit. The intent of this request is that these manufactured homes will allow for on-site housing of employees to support Francis Rose's operations, so a Conditional Use Permit would be required. Typically, in the City of Eloy, manufactured homes are allowed by right within Medium Density Residential zoning districts (R1-8 and R1-6) where there is an existing Manufactured Home overlay zoning district, with a mobile home park (leased land).

The applicant held a preapplication meeting with city staff on April 6, 2022.

As required by ARS § 9-462.04, this item will be conducted as a "Public Hearing". Notice of the public hearing was published at least fifteen (15) days prior to the hearing in the Eloy Enterprise, a copy of the public notice was sent out via regular mail to property owner's within 300 feet of the subject parcel and the notice was posted at the official City posting locations.

Based on the fact that each manufactured home is being utilized to house workers for Francis Roses, the City and Fire District have determined that this use should be designated as Residential Group R-3. Residential Group R-3 occupancies are appropriately designated where the occupants are primarily permanent in nature and not classified as Group R-1, R-2, R-4 or I, including: buildings that do not contain more than two dwelling units; care facilities that provide accommodations for five or fewer persons receiving care; congregate living facilities (non-transient) with 16 or fewer occupants; boarding houses (non-transient); convents, dormitories, fraternities and sororities; monasteries; congregate living facilities (transient) with 10 or fewer occupants; boarding houses (transient); lodging houses (transient) with five or fewer guest-rooms and 10 or fewer occupants.

Staff recommends that this request for a Conditional Use Permit be **approved** subject to the following conditions:

1. That a building permit shall be submitted for review and approval within a period of twelve (12) months from the date of City Council approval of this conditional use permit, or this conditional use permit shall become null and void;

2. That approval of this Conditional Use Permit shall be for a maximum of thirty (30) years from the date of Council approval;
3. That, within one (1) year prior to its expiration date, the owner shall renew the Conditional Use Permit through submittal of an Administrative Waiver to the Community Development Department;
4. That the manufactured homes shall be in compliance with the General Provisions as outlined in Section 21-2-7.7 of the Eloy City Code-Chapter 21.
5. That a Building Permit shall be obtained through the Eloy Building Safety Division;
6. That an On-site Civil Permit Application will be submitted to the Public Works Department and include the Site Improvement Plans that show the Grading and Drainage, all weather access road (width and material (size & depth), drainage swale (flow line elevations), and the water lines to each unit (from existing water system, including sizes, material, depth, and trench backfill) for approval.
7. That a Right-of-way permit application and fee shall be submitted to the Public Works Department for review and approval;
8. That the setting on pillars and skirting of the manufactured homes shall be in substantial conformance with the overall site plan dated 04-05-2022;
9. That the Eloy Fire District will require the submitted site plan to include an additional road to serve as primary vehicular access to the described tract containing the manufactured homes with a Cul-de-Sac for turn around.
10. That the Eloy Fire District will require an automatic sprinkler system installed in accordance with Section 903.3 throughout all buildings with a Group R fire area. (Automatic fire-extinguishing systems shall not be considered alternatives for the purposes of exceptions or reductions allowed for automatic sprinkler systems or by other requirements of this code).
11. The Eloy Fire District will require an approved water supply, capable of supplying the required fire flow for fire protection to the tract on which the facilities, buildings or portions of buildings are hereinafter constructed.
12. The Eloy Fire District will require the installation of water tanks for private fire protection in accordance with NFPA 1142 for a rural water supply.
13. That the Eloy Fire District will require, (where a portion of the facility or building hereafter constructed or moved into or within the jurisdiction is more than 600 feet (183 m) from a hydrant on a fire apparatus access road, as measured by an approved route around the exterior of the facility or building(s). In addition, on-site fire hydrants and mains shall be provided where required by the district fire marshal.

FISCAL IMPACT:

There is not a direct fiscal impact on the City if this request is approved. The indirect fiscal impact would occur with the enhanced value of the parcel and property tax proceeds as well as the local purchase of goods and services by the residents that would generate sales tax revenues to the City.



1110 East Missouri Avenue, Suite 580
Phoenix, Arizona 85014
623-772-1555

City of Eloy, AZ Zoning and Planning Committee,

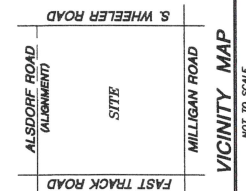
Per the application requirements please find the requested information for the Conditional Use Permit for Francis Roses.

- The property is a single parcel number consisting of 640 gross acres and is currently being used as a farming operation. Currently the property is zoned R1-43 but as stated earlier the whole property is a farm which is common in the area surrounding Eloy proper. The intention of the conditional use permit is to install employee housing on the farm and in no way is intended to be permanent a feature which would conflict with the General Plan Designation. Maricopa and Pinal counties are the beneficiaries of economic growth as more employers and employees move to Arizona. This growth offers challenges to the rural farming community who rely heavily on workers to cultivate and grow their crops and those workers need housing. We like to evaluate these challenges and devise solutions that benefit all, including the City of Eloy.
 - We have partnered with Clayton homes to construct brand new housing units that will accommodate our workforce.
 - We anticipate these homes will stay in place until the best use for the property is no longer is farming. We expect that time to be 20 years and therefore request this timeframe. This timeframe is also in line with the useful life of the manufactured homes.
 - Because of the size of the site there is no impact to the surrounding properties. We believe there will be positive impacts to the community as we are increasing the standard of living for farm employees in the area.
 - Because this is a farming operation, this is suitable within the existing zoning district and complies with the goals and policies of the Eloy General Plan.

Best regards,

A handwritten signature in black ink, consisting of stylized, overlapping loops and a long horizontal stroke extending to the right.

Tyler M. Francis

[illegible]

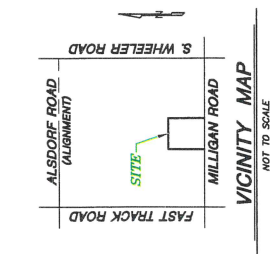
- ### REFERENCE DOCUMENTS
- | | |
|---|------------------|
| 1) Record of Survey recorded in Book 3, of Surveys, | Page 340, P.C.R. |
| 2) Record of Survey recorded in Book 3, of Surveys, | Page 341, P.C.R. |
| 3) Record of Survey recorded in Book 1, of Surveys, | Page 75, P.C.R. |
| 4) Record of Survey recorded in Book 1, of Surveys, | Page 165, P.C.R. |

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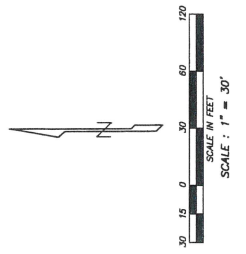
Randy S. Diebridge
S. 18214

22923 N. 65th Ave. Peoria, AZ 85363
Phone (602) 820-2020 radlebridge@gmail.com

GROSS AREA = 644.798 ACRES
NET AREA = 628.837 ACRES
NET AREA FOIA'S GROSS AREA LESS EASEMENT 13



SITE GRADING PLAN FOR FRANCES ROSES APN 241I-01-0400 - 4550 E. MILLIGAN RD. A PORTION OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA



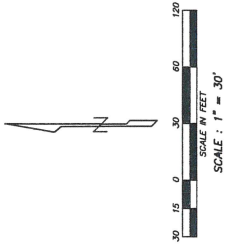
CURVE	RADIUS	DELTA	LENGTH
C1	76.00'	48°33'32"	85.74'
C2	76.00'	48°33'32"	85.74'
C3	76.00'	48°33'32"	85.74'
C4	76.00'	48°33'32"	85.74'
C5	76.00'	48°33'32"	85.74'
C6	76.00'	48°33'32"	85.74'
C7	76.00'	48°33'32"	85.74'
C8	76.00'	48°33'32"	85.74'
C9	76.00'	48°33'32"	85.74'
C10	76.00'	48°33'32"	85.74'

FRANCIS ROSES
 SITE GRADING PLAN
 APN 411-01-0040 FOR 4550 E. MILLIGAN RD.
 A PORTION OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 8 EAST, C. & S.R.B. & N. PINAL COUNTY, ARIZONA
 22033 N. 85TH AVE.
 PUEBLO, ARIZONA 85363
 Phone (602) 830-3020
 francesroses@azeng.com

Southwestern States Surveying, Inc.
 PROFESSIONAL LAND SURVEYING - ARIZONA, CALIFORNIA, NEVADA
 22033 N. 85TH AVE.
 PUEBLO, ARIZONA 85363
 Phone (602) 830-3020
 francesroses@azeng.com

DATE: 4-5-2022
 SHEET: 2 OF 2

CALL TWO MORNING DAYS
BEFORE 8:00 AM
Dial 811 or
602-263-1100
1-800-STAKE-IT
(OUTSIDE MARICOPA COUNTY)

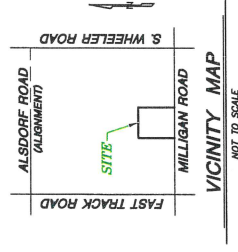


SITE GRADING PLAN

FOR
FRANCIS ROSES
APN 241-01-0400 - 4550 E MILLIGAN RD. A PORTION OF
SECTION 12, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA AND
SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA

CURVE	RADIUS	DELTA	LENGTH
C1	25.00'	63.28° 12'	27.88'
C2	25.00'	63.28° 12'	27.88'
C3	51.00'	30.13° 40'	51.83'
C4	25.00'	58.13° 40'	25.01'

- LEGEND**
- POWER POLE
 - T/O OF DITCH
 - OVERHEAD ELECTRIC
 - EXISTING UNDERGROUND PIPE
 - MID-SECTION LINE
 - CONCRETE DITCH
 - GAS MARKER (GAS LINES IN AREA)
 - INSTALL 64" LF12" C.M.P.
 - DIRECTIONAL DRAINAGE ARROW
 - EXISTING FENCE
 - EXISTING CULVERT



BENCHMARK
3" ALUMINUM CAP AT THE SOUTHWEST CORNER OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 8 EAST OF THE GILA AND SALT RIVER BASE AND MERIDIAN, PINAL COUNTY, ARIZONA. ELEVATION 1055.00' ±.

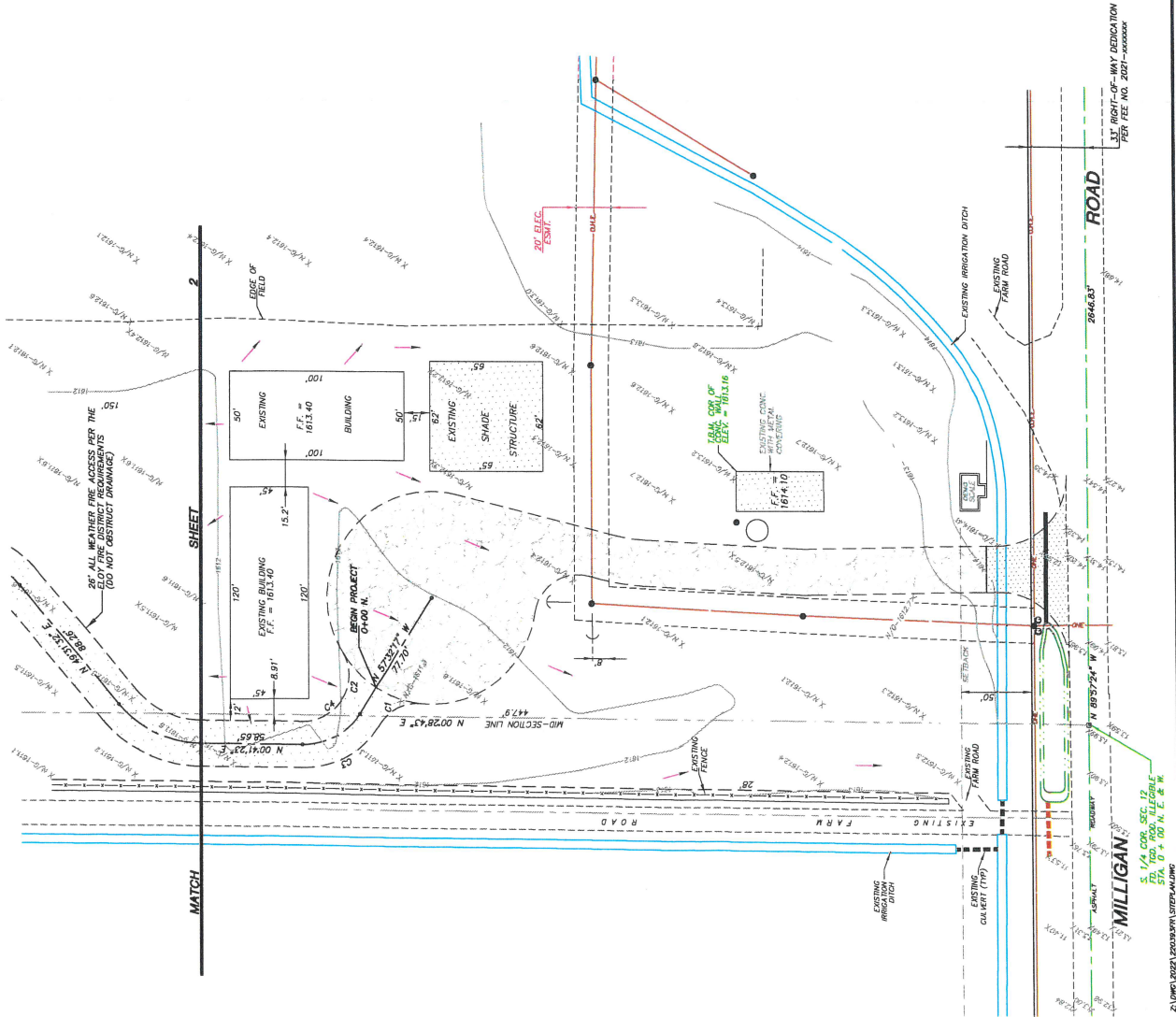
PREPARED FOR:
FRANCIS ROSES
SITE GRADING PLAN

APN 411-01-0040 - 4550 E. MILLIGAN RD.
PORTION OF SECTION 12, TOWNSHIP 8 SOUTH, RANGE 8 EAST, G. & S.R.B. & M. PINAL COUNTY, ARIZONA

Southwestern States Surveying, Inc.
30033 N. 48TH AVE.
PHOENIX, ARIZONA 85018
Phone: (602) 820-2020
info@ssurveying.com

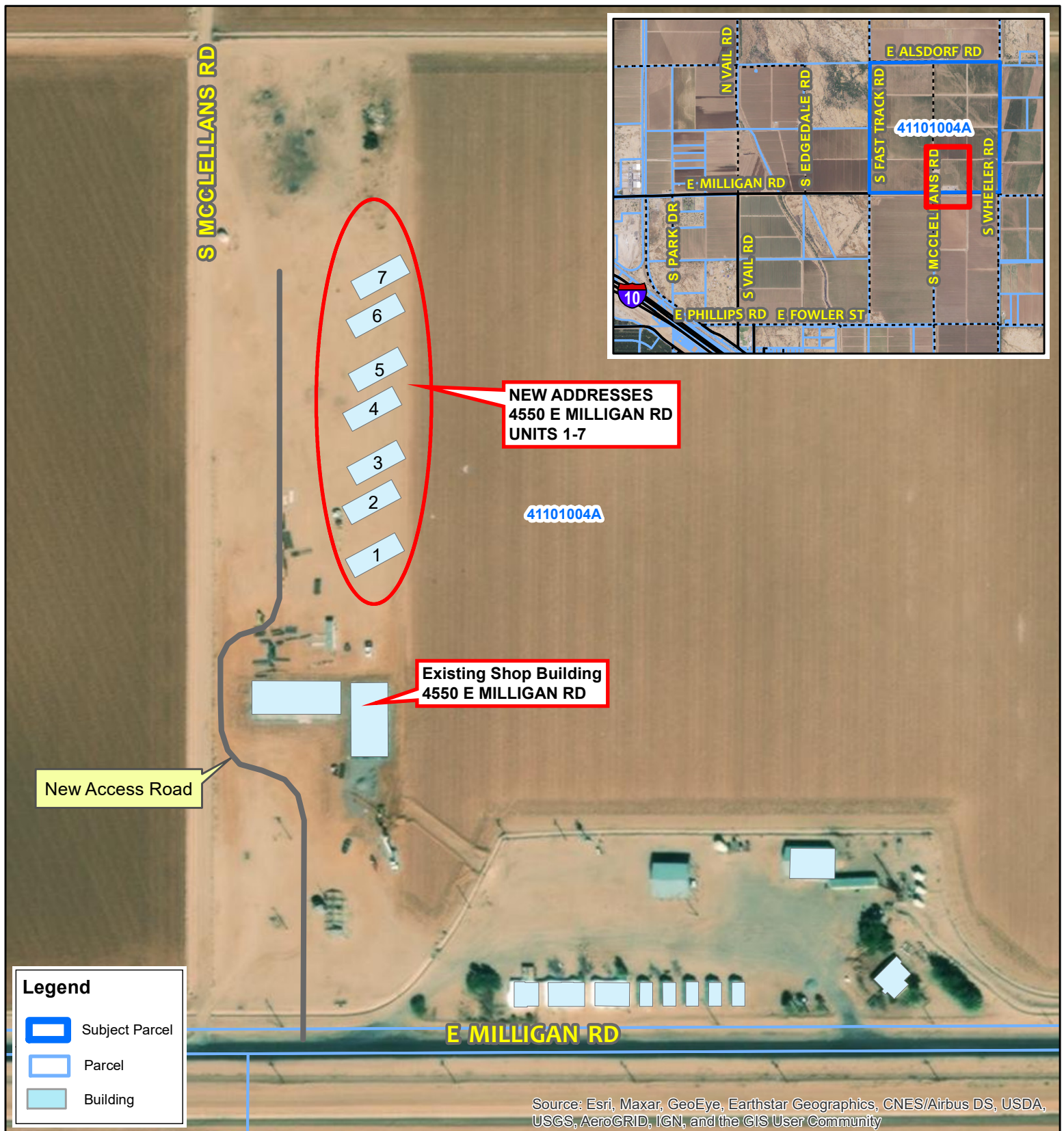
PROFESSIONAL LAND SURVEYOR - ARIZONA, CALIFORNIA, KENTUCKY
ARIZONA NO. 1071 - CALIFORNIA NO. 10700 - KENTUCKY NO. 2000
DATE: 4-6-2022
REVISED: 1-20-2023

SHEET 1 OF 2



31' RIGHT-OF-WAY DEDICATION
PER FEE NO. 2021-000000

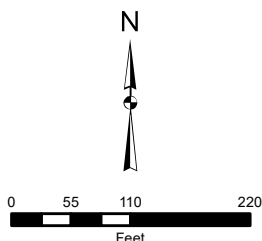
21 (LWS) 2022 120030001 SITE GRADING



Please contact me with any questions
or require additional information.

Sincerely,

Kory Fewell
GIS Coordinator
City of Eloy



NEW SUB ADDRESSES
Housing Units 1-7
4550 E Milligan Road
Located on Parcel: 411-01-004A
Eloy, AZ 85131



GIS Division of Public Works
1137 W Houser Road
Eloy, AZ 85131
520-464-3176

Date: 5/3/2022



CITY OF ELOY

REQUEST FOR COMMISSION ACTION

Agenda Item: **VII.F.**

Date: **5/19/2022**

Date submitted:
05/06/2022

Action: Other

Subject: Consideration, discussion, and recommendation to the Eloy City Council for approval, approval with conditions, disapproval or other action on Case No.: CUP2022-018 (Project Name: Red Rose)

TO: Planning and Zoning Commission

FROM: Jon Vlaming, Belinda Cota

RECOMMENDATION:

Staff recommends approval with conditions for Case No.: CUP2022-018

DISCUSSION:

FISCAL IMPACT: